



PORT ANGELES BUILDING RESIDENTIAL CAPACITY WORKSHOP

June 9, 2021



Project Team



Department of Community & Economic Development

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Zoning Code & Urban Design Consultants

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Tonight's Agenda

- 1. Project Background**
- 2. Visual Preference Survey**
- 3. Preliminary Code Concepts Presentation/Survey**
- 4. Wrap up by 8:00 PM**

Note: Tonight's surveys are easiest to complete on a computer or tablet.



Housekeeping

Project webpage:

<https://www.cityofpa.us/1051/Building-Residential-Capacity>



This meeting is being recorded to make it more accessible.



All meeting materials will be posted on the project webpage.



The two workshop surveys will be available online until June 30.



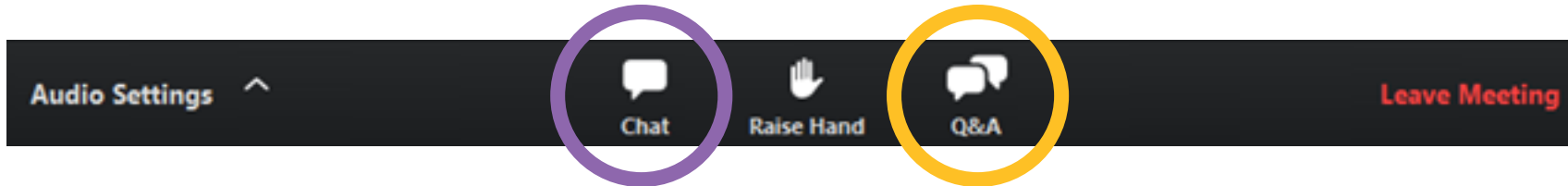
Zoom Discussion Functions



If you have a written comment about any images or concepts, use the **Chat** button.



Use the **Q&A** button to type questions at any time.



During the discussion portion, you can “Raise Your Hand” to ask a verbal question.



PROJECT BACKGROUND





Code Challenges – Why We’re Doing This Project

The Port Angeles zoning code was first established over 50 years ago!
This project can start to implement the city’s vision for the next 50 years.

Key challenges:

- The code is not easy to use!
- Reducing barriers to housing construction.
- Lack of basic design guidance



Grant-Based Scope of Work

Action 1

Adopt an infill exemption under RCW 43.21C.229 for residential or mixed-use development (and consider any other relevant SEPA categorical exemptions).

Titles 15, 16, 17, and 18

Action 2

Increase the maximum number of lots through a short subdivision process from 4 lots to 9 lots. Amend/revise associated subdivision standards.

Title 16

Action 3

Adopt a form-based code for the City's five commercial zones (CO, CN, CSD, CA, CBD).

Titles 14 and 17








Project Objectives

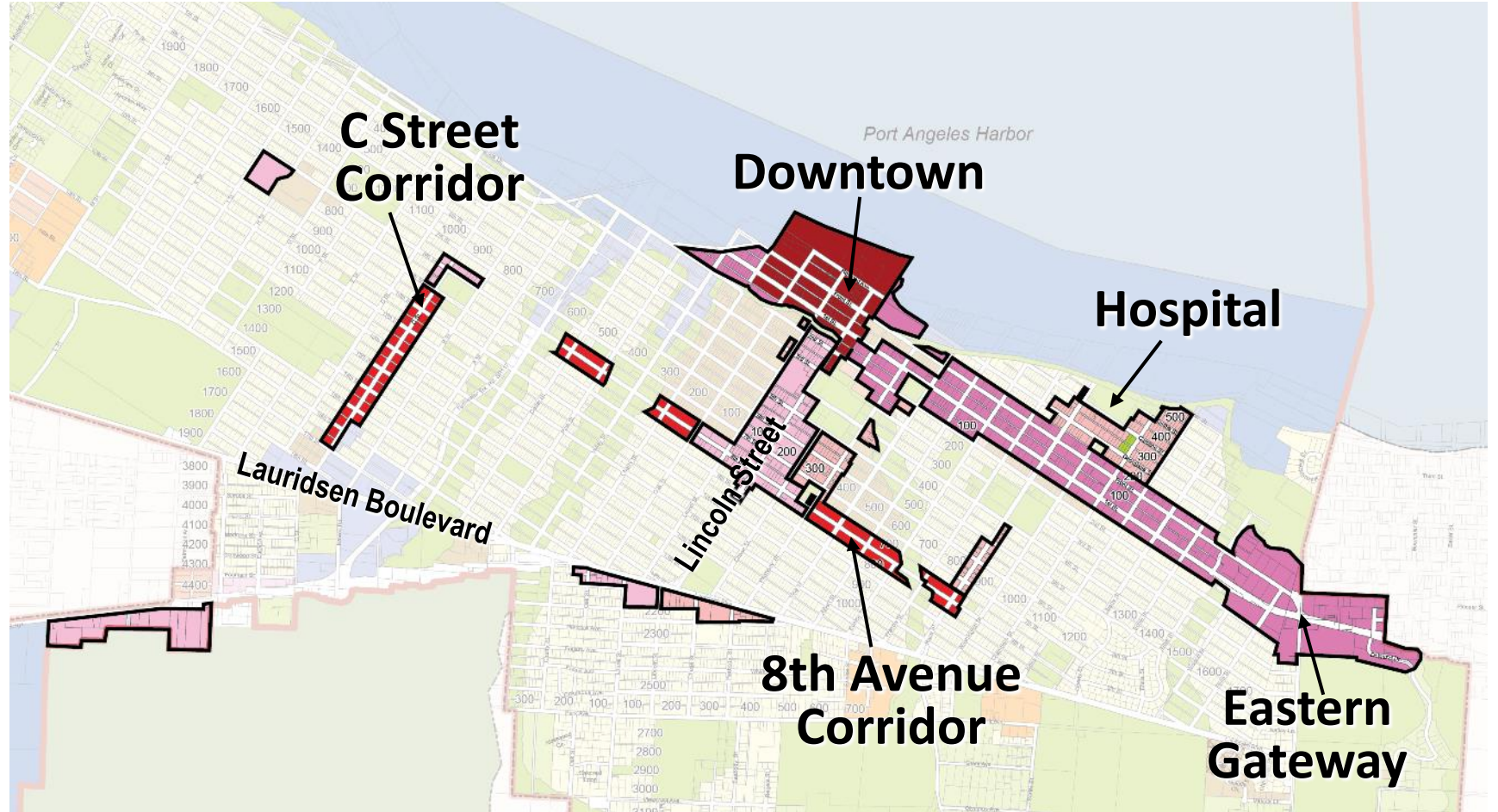
- Adopt a “form-based code” that emphasis the quality and design of new development within commercial zones while balancing economic feasibility.
- Encourage and enable the development on more housing of all types and affordability levels throughout the city.
- Promote and revitalize Downtown by removing barriers to residential development and facilitating economic development.



Action 3 Form-Based Code Areas

All commercial zones that allow multifamily housing

	CA Commercial Arterial
	CBD Central Business District
	CN Commercial Neighborhood
	CO Commercial Office
	CSD Commercial Shopping District





What Is Form-Based Code?

- Form-based codes (FBC) address the relationship between buildings and the public realm - streets, parks, trails, green spaces, and other outdoor places.
- FBC regulate areas that are not typically part of zoning, such as the design of streets, sidewalks, landscape, and other public spaces.

Conventional Zoning

Prioritizes USE over form:



Form-Based Coding

Prioritizes FORM over use:



Form-based codes have been adopted in:

- Lacey, WA – Woodland District Standards
- Bothell, WA – Downtown Subarea Plan & Regulations
- Mountlake Terrace, WA – Town Center Design Standards
- Anacortes, WA – Citywide Project Design Standards
- Clark County, WA – Highway 99 Subarea Standards
- Spokane, WA – Hamilton Corridor Form-Based Code



Form-Based Code Example

Clark County Highway 99 Subarea Standards

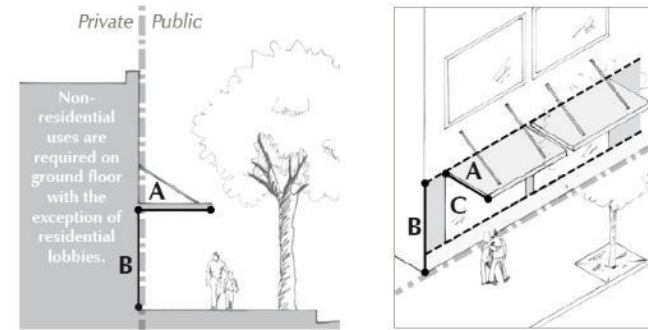
3.2 Permitted Frontage Types

The chart below illustrates a range of development frontages and the particular street types and overlays where they are permitted (shaded boxes). Combinations, or hybrids of multiple frontage types are permitted.

Table 3-2. Frontage Type Standards cross referenced with street types.

Frontage Types	Overlays and Street Types							
	Activity Centers				Transitional Areas		Residential Areas	
	Store-front Street	Mixed Use Street	Land-scape Street	Mixed Use Street	Land-scape Street	Multi-lusely	Mixed	Single Family
<p>3.3 Storefront Façades located adjacent to the sidewalk.</p>	✓	✓		✓				
<p>3.4 Forecourt Uncovered courtyards within a storefront setting.</p>	✓	✓		✓				
<p>3.5 Stoop Elevated platform entry ways.</p>		✓		✓			✓	
<p>3.6 Light court Sunken courtyards in tandem with raised platforms.</p>		✓		✓			✓	
<p>3.7 Terrace yard Raised lawns or gardens separated from the frontage line by a retaining wall.</p>		✓	✓	✓	✓	✓	✓	✓
<p>3.8 Fenced yard Distinct separation between the public and private realms.</p>		✓	✓	✓	✓	✓	✓	✓
<p>3.9 Common yard Visually continuous landscaped space along adjacent yards.</p>		✓	✓	✓	✓	✓	✓	✓

3.3 Storefront Standards



3.3.1 Dimensions

Weather Protection

A = at least 5' deep (average)

B = at least 8' above grade

Transparency

C = Transparency Zone between 30" - 8' above grade

Sidewalks

12' minimum width with trees in grates. See Chapter 9

3.3.2 Storefront Definition

Storefronts are non-residential façades located adjacent to a public sidewalk or private internal walkway. Design elements of storefronts are expected to encourage and allow for high pedestrian traffic.

3.3.3 Storefront Uses

- Non-residential uses are required on ground floor with the exception of residential lobbies.

3.3.4 Storefront Design

- An entrance that faces the sidewalk for each building and business is required.
- Weather protection along at least 60% of the façade, averaging at least 5 feet deep and placed at least 8 vertical feet above the sidewalk.
- Transparency along at least 60% of the Transparency Zone.

Table 3-3. Storefront building setback range per Street Type and Overlay.

Map Index	Street Type	Building Setback
Activity Center Overlay		
	Storefront	edge of sidewalk
	Mixed-Use	edge of sidewalk
Transitional Overlay		
	Mixed-Use	edge of sidewalk

Figure 3-16. Storefront frontage examples.





What is a SEPA Infill Exemption?

- What is SEPA?
 - State Environmental Policy Act
 - It requires us to consider the natural and built environment prior to approving permits or adopting regulations, policies, and plans.
 - While SEPA has good intentions, environmental review can sometimes cause delays or uncertainty, and costs can be passed on ultimately to homebuyers, renters, and businesses.
- What is an infill exemption?
 - An Environmental Impact Statement (EIS) provides upfront environmental review for multiple properties.
 - New exemptions in the code help facilitate residential or mixed-use development consistent with the Comprehensive Plan and the City's codes.
 - The exemption does not apply to lands covered by water/wetlands.

**FINAL SUPPLEMENTAL
ENVIRONMENTAL IMPACT STATEMENT
To The
City of Port Angeles
Comprehensive Plan
For
PROPOSED ZONING IMPLEMENTATION**

Prepared in compliance with:

The Washington State Environmental Policy Act (SEPA) 1971
Chapter 43.21C, Revised Code of Washington (revised 1983)

SEPA Guidelines, effective January 1976 (revised April 4, 1984),
Chapter 197-11-442, Washington Administrative Code.

Date of Issue:

November 14, 1995

This project will not require a new EIS for the form-based code because Port Angeles' growth rate has been lower than that assumed by the EIS that is on file for the 1995 Comprehensive Plan.



Updated Schedule

#	Task	Schedule	Status
1	Project Startup & Initial Presentation	Fall 2020	Complete
2	Staff/Stakeholder Interviews	Dec - April	Complete
3	Code Analysis	Fall 2020	Complete
4	Preliminary Concepts & Recommendations	April - May	Ongoing
5	Form-Based Code Public Workshop	June 9	Today
6	First Draft Code Updates	June	
7	Planning Commission Review & Code/Ordinance Refinements	July - September	
8	City Council Adoption Support	By October 22	
9	Scoping for Development Regulations Update	October - December	

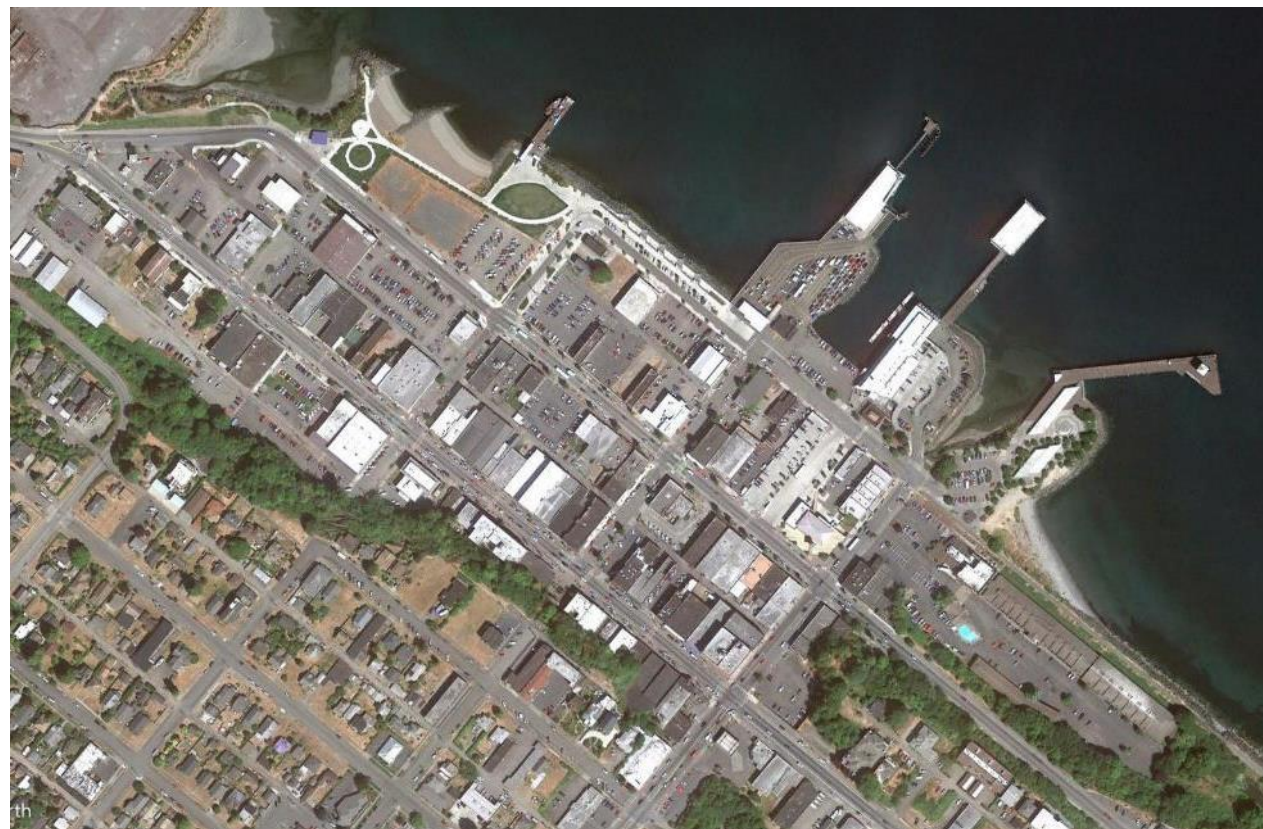


Alignment with *Elevate Port Angeles*

Port Angeles Regional Chamber of Commerce' 5-year plan for Downtown.

Coordinate efforts:

- Coordination meeting December
- Stakeholder interviews
- Ongoing coordination via City staff
- Analyze development activity
- Business community feedback on code drafts





What We Have Heard So Far (Stakeholder Interviews)

- Downtown and the Front/First couplet need the most attention, but all commercial areas have development potential
- There is both support and concern about implementing new design standards
- The stormwater regulations are a major barrier
- Updating the zoning code is one of many actions needed to increase local housing capacity

Port Angeles HB 1923 Code Updates

Stakeholder Interviews Summary

May 2021

MAKERS interviewed individual Port Angeles stakeholders and a Planning Commission subcommittee in May 2021 and had a discussion with the Elevate Port Angeles Stakeholder Committee in December 2020. At the recommendation of City staff, the stakeholders included property owners, business owners, non-profit group representatives, public officials, and other community leaders.

This range of people provided a variety of perspectives on the form-based code, infill housing, and subdivision standards that will be addressed in this project. This document is a summary of their comments, observations, and code update priorities.

What elements or issues are most important about this project to you?

- Avoid implementing design standards that are too detailed or which require an architectural style. Limit the risk of increased construction costs. Design standards should be easy to administer by city staff and easy to use by builders and property owners.
- Consider the ramifications of zoning on related issues like public works and utilities.
- Overall, the code needs more consistency and less surprises. Administrators also need more flexibility to be creative and accommodate unique situations and good proposals from property owners.
- Downtown needs more residents to be more successful and resilient.

What do you think is the most challenging or urgent housing issue in Port Angeles?

- Housing affordability is an increasing challenge, driven by the low amount of new housing construction in recent times. This seems to be caused by multiple factors including increasing lumber prices, the state energy code, fire sprinkler requirements for multifamily construction, high utility prices, and restrictive stormwater regulations.
- Multiple stakeholders identified the city's stormwater regulations and fees as particularly problematic, and which have effectively blocked proposed residential and commercial projects.
- Major local employers are having trouble hiring workers to move to town because of housing prices. The Peninsula Housing Authority has hundreds of people on its waitlist.
- Single-family housing is highly sought after but expensive to build and maintain. Duplexes seem to be popular and are being built. There is also a significant need for multifamily housing (apartments or condominiums) to meet workforce housing demand.



VISUAL PREFERENCE SURVEY





Visual Preference Survey Scoring

- Your answers are anonymous
- The survey questions are easiest to complete on a laptop/desktop computer
- Questions will appear on your Zoom screen in a pop-up box (example shown at right)
- Press the “Submit” button after you’ve answered all questions

Zoom Polls

Building Residential Capacity Workshop

1. Question 1 – What do you think of this concept?

R7 zone: Allow smaller single-family lots provided such lots take vehicle access off an alley (where available) and are designed to ensure neighborhood compatibility.

5 Great idea – very high priority

4 Good idea

3 Neutral

2 Not great

1 Very bad idea

Submit



Visual Preference Survey – SurveyMonkey Alternative

If you're joining this meeting on a smartphone, consider using the online SurveyMonkey version:

<https://www.surveymonkey.com/r/PAVPS>



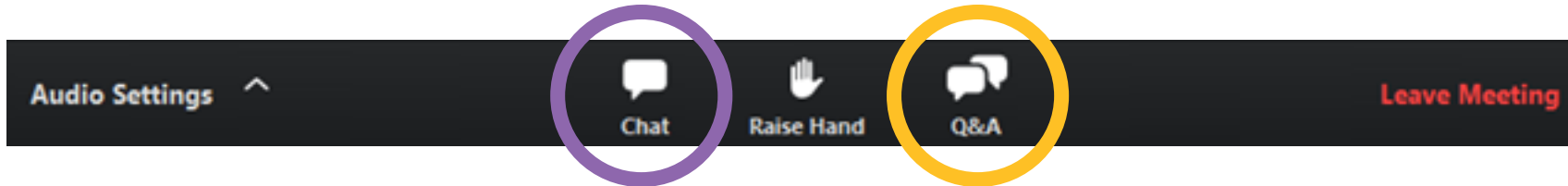
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What is your relationship with Port Angeles?

Multiple choice answers




- Live in Port Angeles
- Work in Port Angeles
- Own property in Port Angeles
- Elected or appointed public official
- Business owner or manager
- Land developer
- Home builder





Visual Preference Survey Scoring

Answer choices

-  **5.** Great example!
- 4.** Good example
-  **3.** Indifferent – but nothing about it should be prohibited
- 2.** Undesirable – maybe consider prohibiting part of the design
-  **1.** Unacceptable – the design should be prohibited

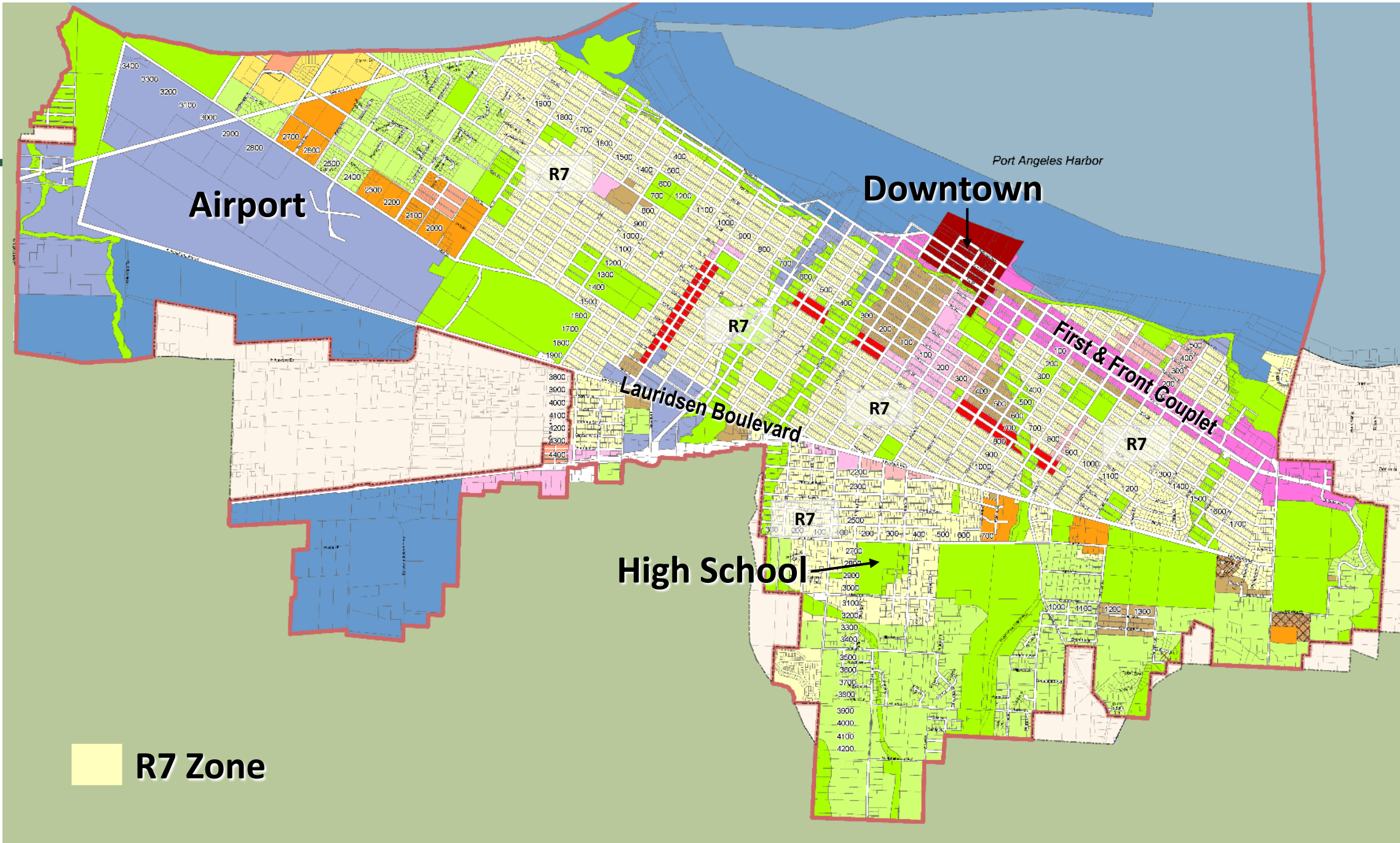
Evaluate for desirability (or not) in Port Angeles specifically!

If you have a comment or question, please note the image number when using the Chat or Q&A tools.




VISUAL PREFERENCE SURVEY

R7 Zone (Low Density Residential)



R7 Zone

 R7 Zone



Typical R7 Blocks





How would you feel about this building if it were built in a R7 residential zone?

Answer choices

5. Great example!
4. Good example
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How would you feel about this building if it were built in a R7 residential zone?

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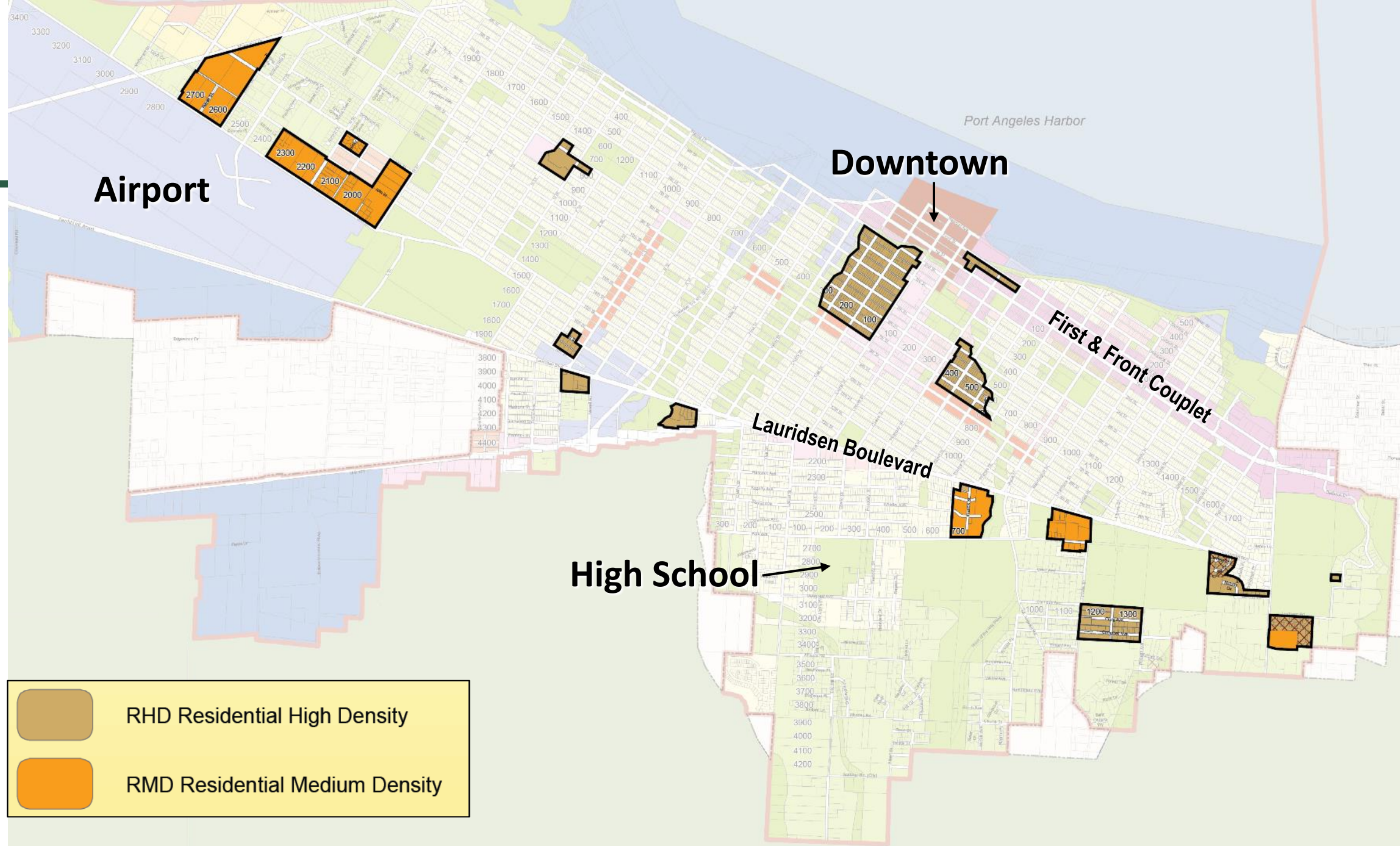


VISUAL PREFERENCE SURVEY

Multifamily Zones



RMD & RHD ZONES





Typical Multifamily Zone





How would you feel about this building if it were built in a multifamily area?

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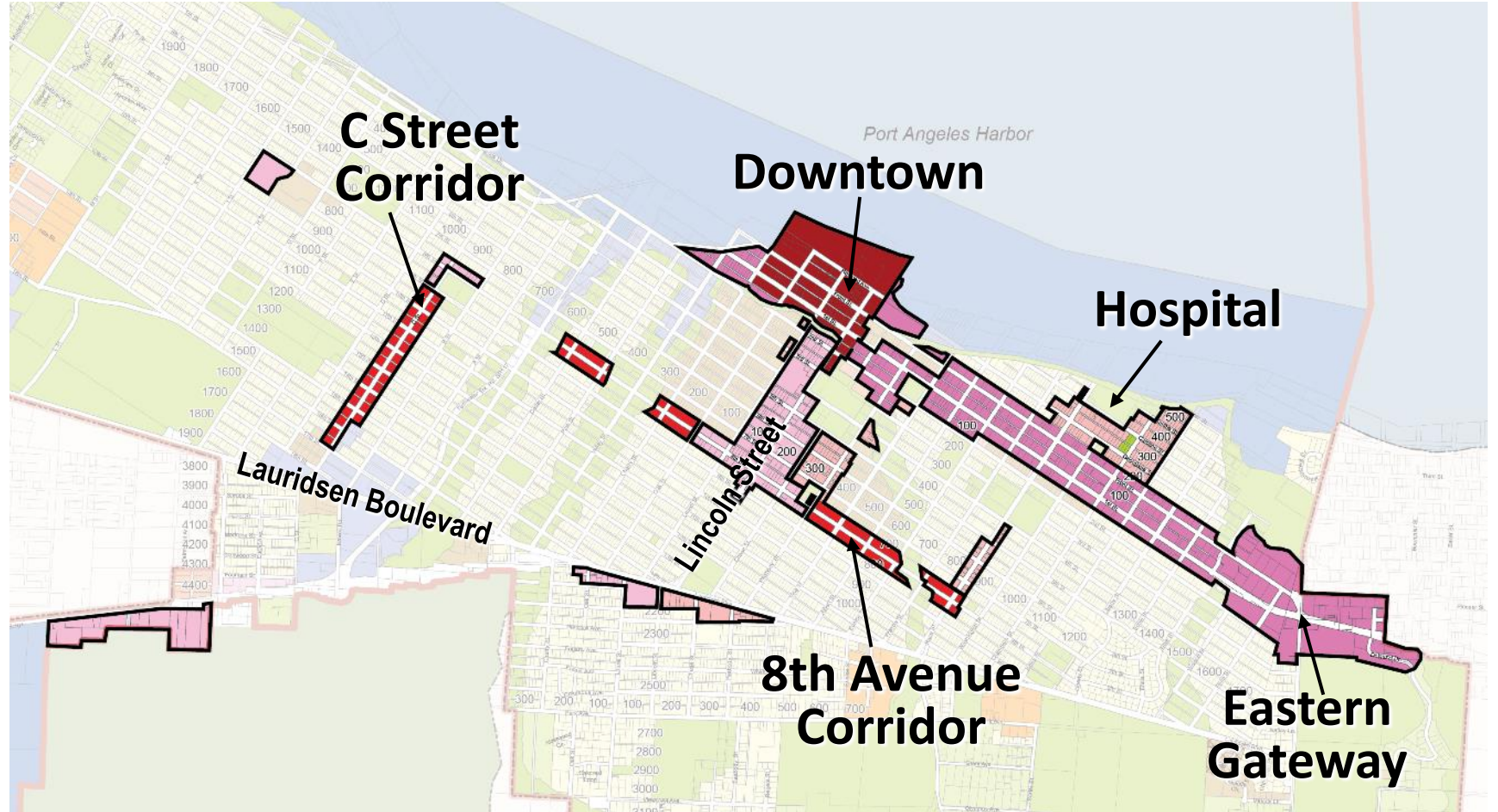
Commercial and Mixed-Use Areas



Action 3 Form-Based Code Areas

All commercial zones that allow multifamily housing

	CA Commercial Arterial
	CBD Central Business District
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	CO Commercial Office
	CSD Commercial Shopping District



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CODE CONCEPTS

Introduction



Current Permitted Housing Types

Uses / Zones	Residential Zones					Commercial/Mixed-Use Zones				
	R11	R9	R7	RMD	RHD	CBD	CA	CSD	CN	CO
Detached single-family	✓	✓	✓	✓	✓					✓
Accessory dwelling unit (ADU)	✓	✓	✓	✓	✓					✓
Cottage housing			✓	✓	✓					✓
Duplex	✓ conditional	✓	✓	✓	✓					✓
Townhouses (4 units or less)				✓						✓
Townhouses					✓					
Apartments (1 unit)				✓	✓	✓	✓	✓	✓	✓
Multifamily dwellings (3 or more units)					✓					
Multifamily dwellings (4 units or less)				✓						✓
Multifamily housing (4 or more units)						✓	✓	✓	✓	
Apartment building (5 or more units)					✓	✓	✓	✓	✓	

Terms to be combined

Terms to be combined



Infill Housing Examples

Cottage Housing (small single-family)



Accessory Dwelling Unit (above garage)








CODE CONCEPTS

Key Ideas and Survey

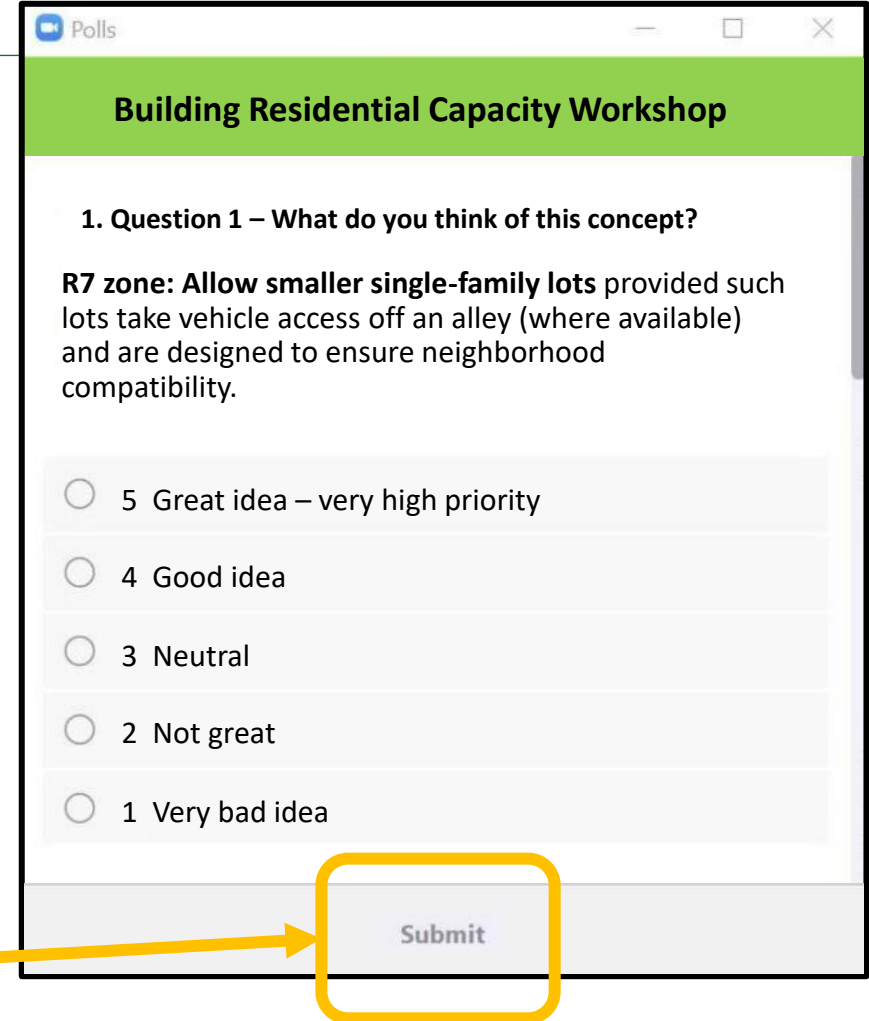


Code Concepts Survey Scoring

Answer choices *(most questions)*

-  **5. Great idea/high priority**
- 4. Good idea**
-  **3. Neutral**
- 2. Not good**
-  **1. Very bad idea**

Also make sure to press the “Submit” button after you’ve answered all questions



Polis

Building Residential Capacity Workshop

1. Question 1 – What do you think of this concept?

R7 zone: Allow smaller single-family lots provided such lots take vehicle access off an alley (where available) and are designed to ensure neighborhood compatibility.

- 5 Great idea – very high priority
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- 2 Not great
- 1 Very bad idea

Submit



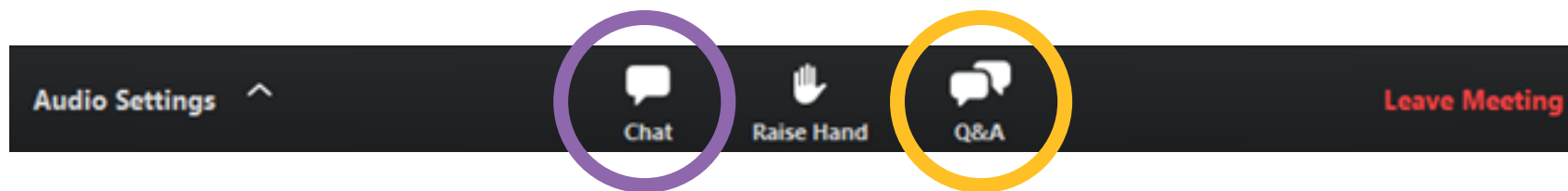
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CODE CONCEPTS

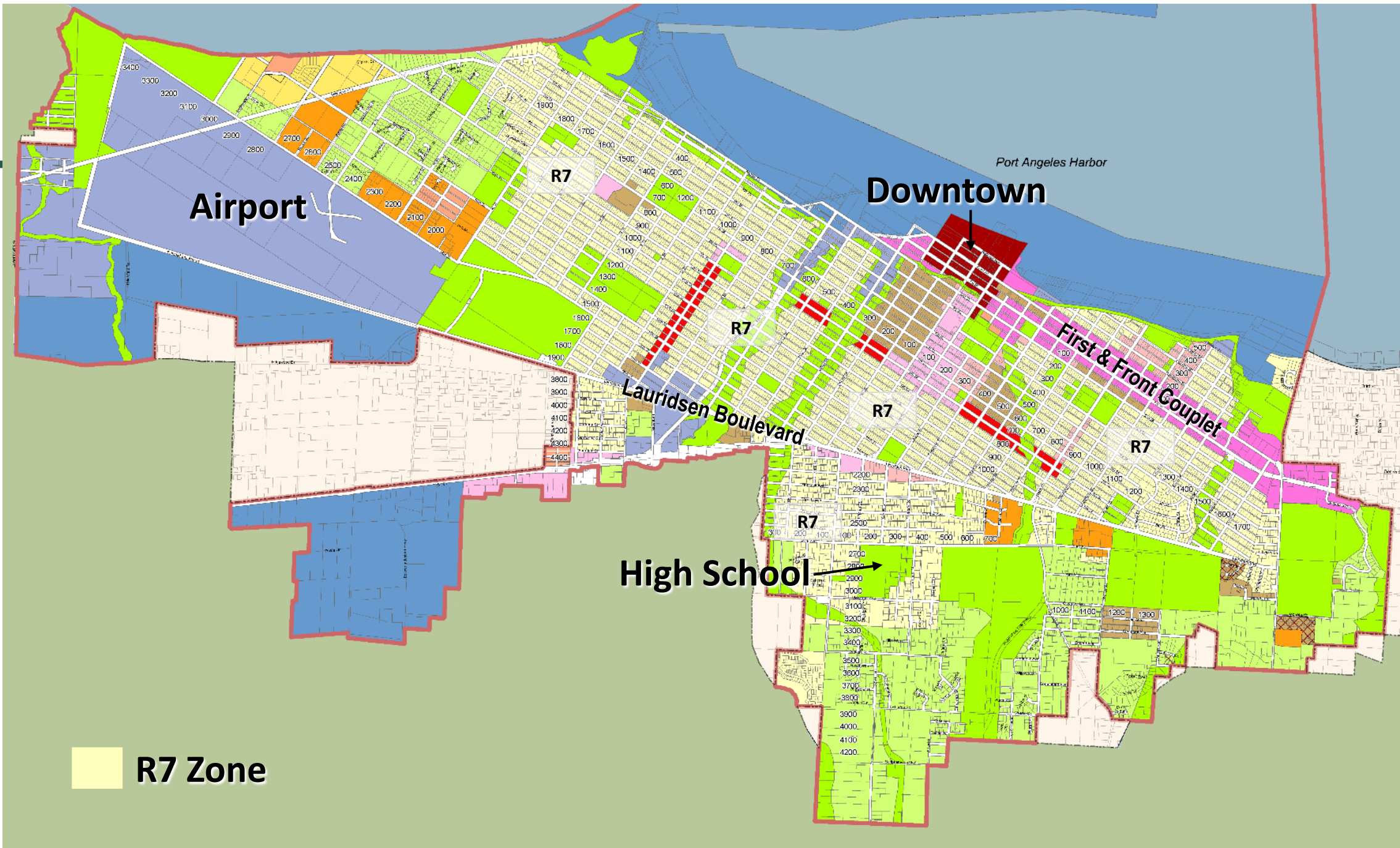
Residential Infill Standards

Key Issues

- Design/integration of garages and driveways
- Façade articulation
- Useable open space



R7 Zone





R7 Zone: Lot Standards

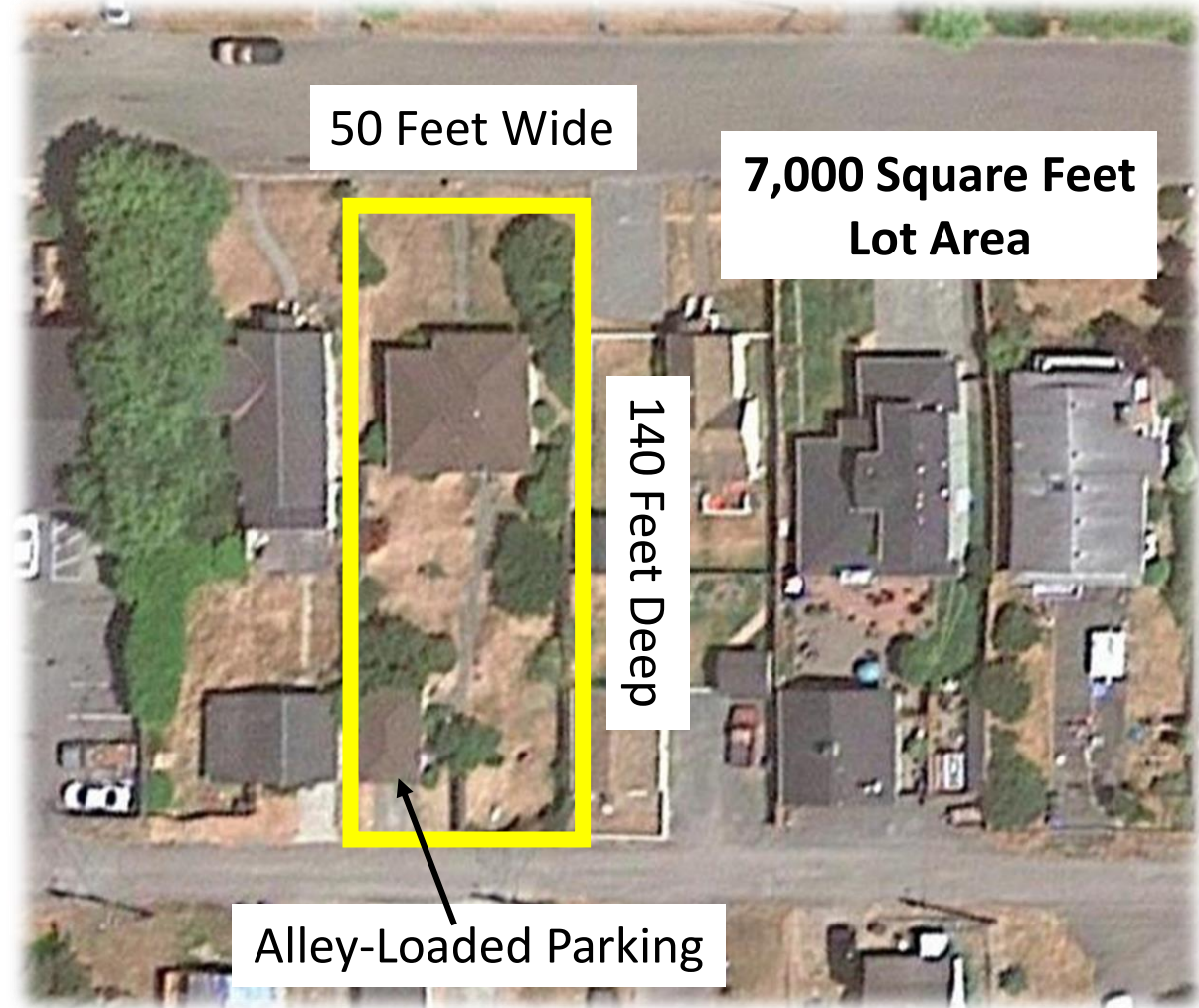
Current Situation

- Minimum lot size: 5,000 square feet
- Minimum lot width: 35 feet
- Maximum lot coverage: 45%
- Maximum site coverage: 65%
- Maximum building height: 35 feet





R7 Zone: Single-Family Lot Standards





R7 Zone: Single-Family Lot Standards

Goal: Expand infill housing opportunities in the R7 zone while ensuring neighborhood compatibility

Concepts:

- Reduce min. lot size to 3,500sf with 25' minimum width – but only if they provide vehicle access from an alley
- Require a modest amount of private open space for recreation and play (typically in back yard)
- Eliminate the minimum lot coverage & site coverage standards – but retain minimum setbacks and height limits
- Consider other design features to ensure neighborhood compatibility (covered entry at minimum)



Small Lot Single-Family Examples from Elsewhere





R7 Zone: Single-Family Lot Standards

Designs To Avoid

Any “front-loaded lot” – with driveways and garages off of the street rather than the alley



● ● ● ●

R7 zone: Allow smaller single-family lots*
provided such lots take vehicle access off an alley (where available) and are designed to ensure neighborhood compatibility.

***Small lot dimensions:**

3,500sf lot area

25' wide

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Dislike
1. Very bad idea



Duplex Standards

Current Situation

- City council amended the code in 2019 to allow duplexes by right in all residential zones (R7, R9, RMD, RHD – conditional in R11)
- No additional design standards were added for duplexes with the zoning change
- No additional lot area is needed for a duplex



Duplex examples in Port Angeles

Duplex Examples from Elsewhere





Duplex Standards

Goal: Expand infill housing opportunities in the residential zones while ensuring neighborhood compatibility

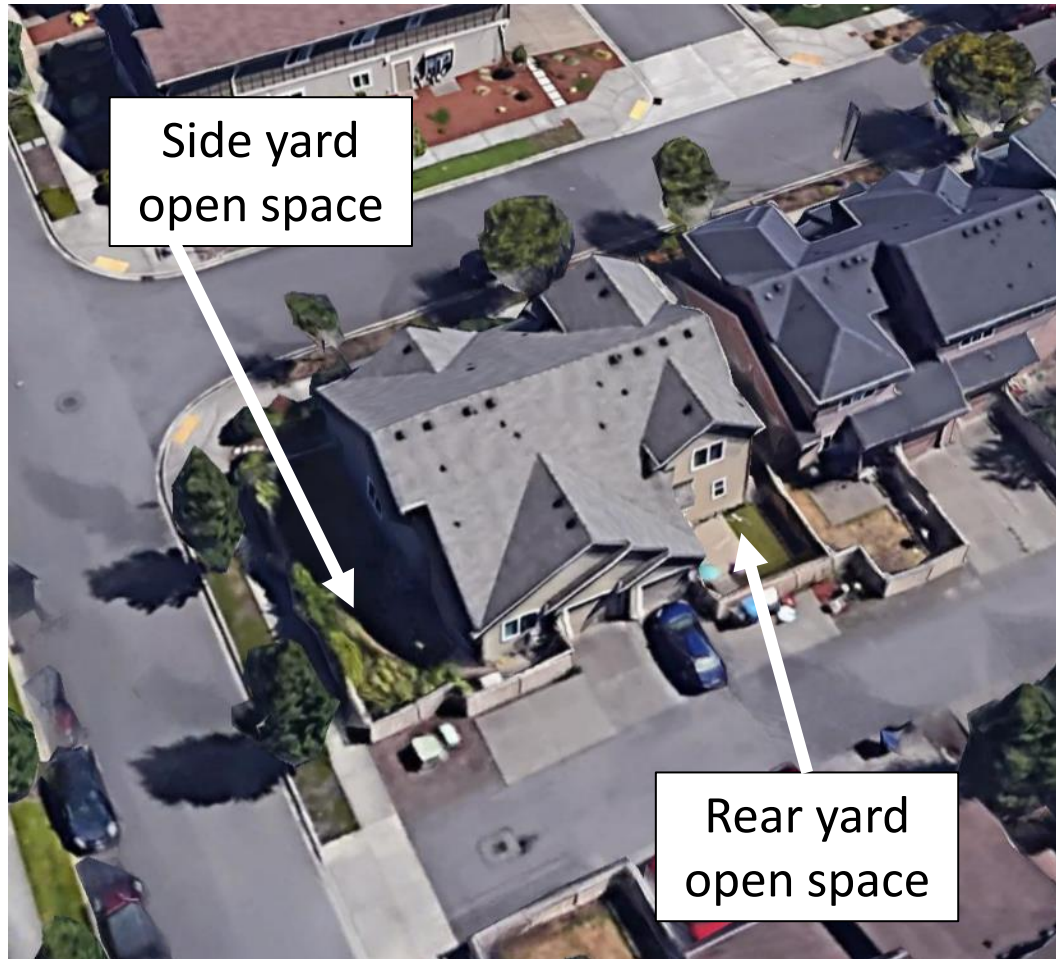
Concepts:

- Require garage/driveways off alleys (when available)
- When there is no alley access, limit the garage/driveway proportions
- Require a covered entry (at least one visible from the street)
- Facades >30' wide must be "articulated" to break up massing (roofline change and/or wall plane offsets)
- Require a modest amount of private open space for recreation and play (can be in front, side, or rear yard)

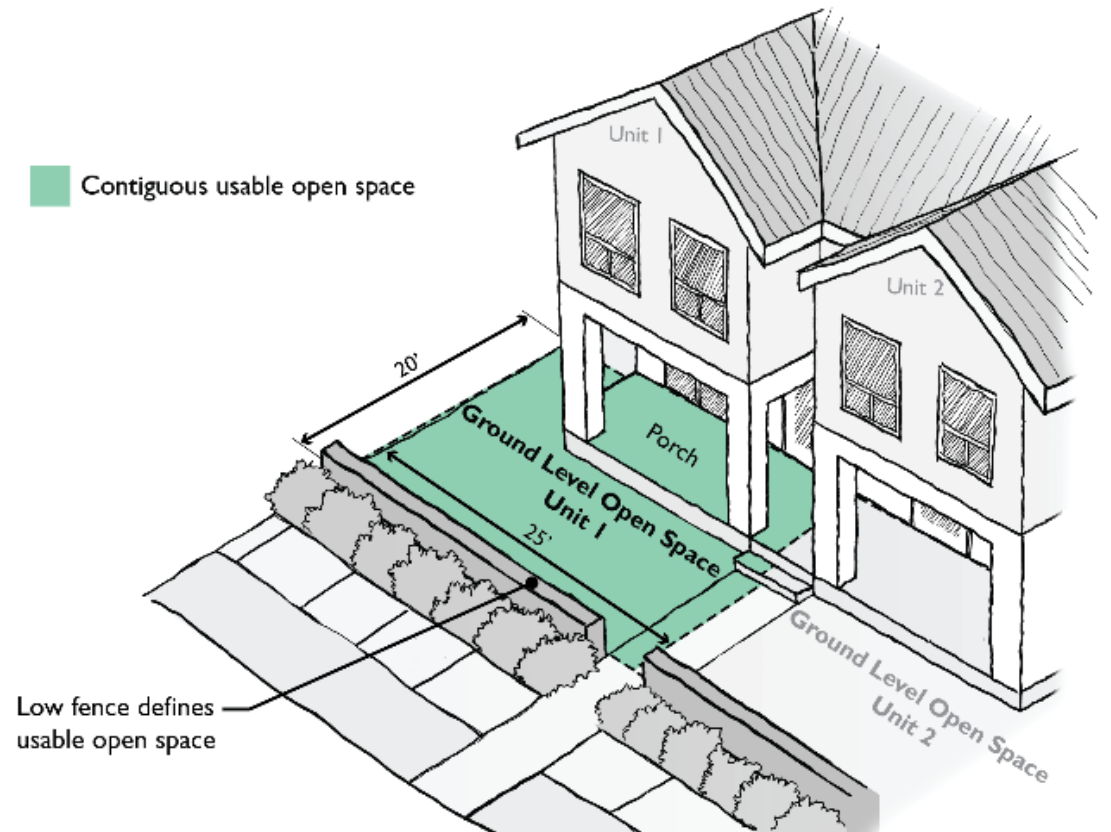




Duplex Standards



Example from a duplex community in Lacey, WA



Option to integrate usable open space in front yard



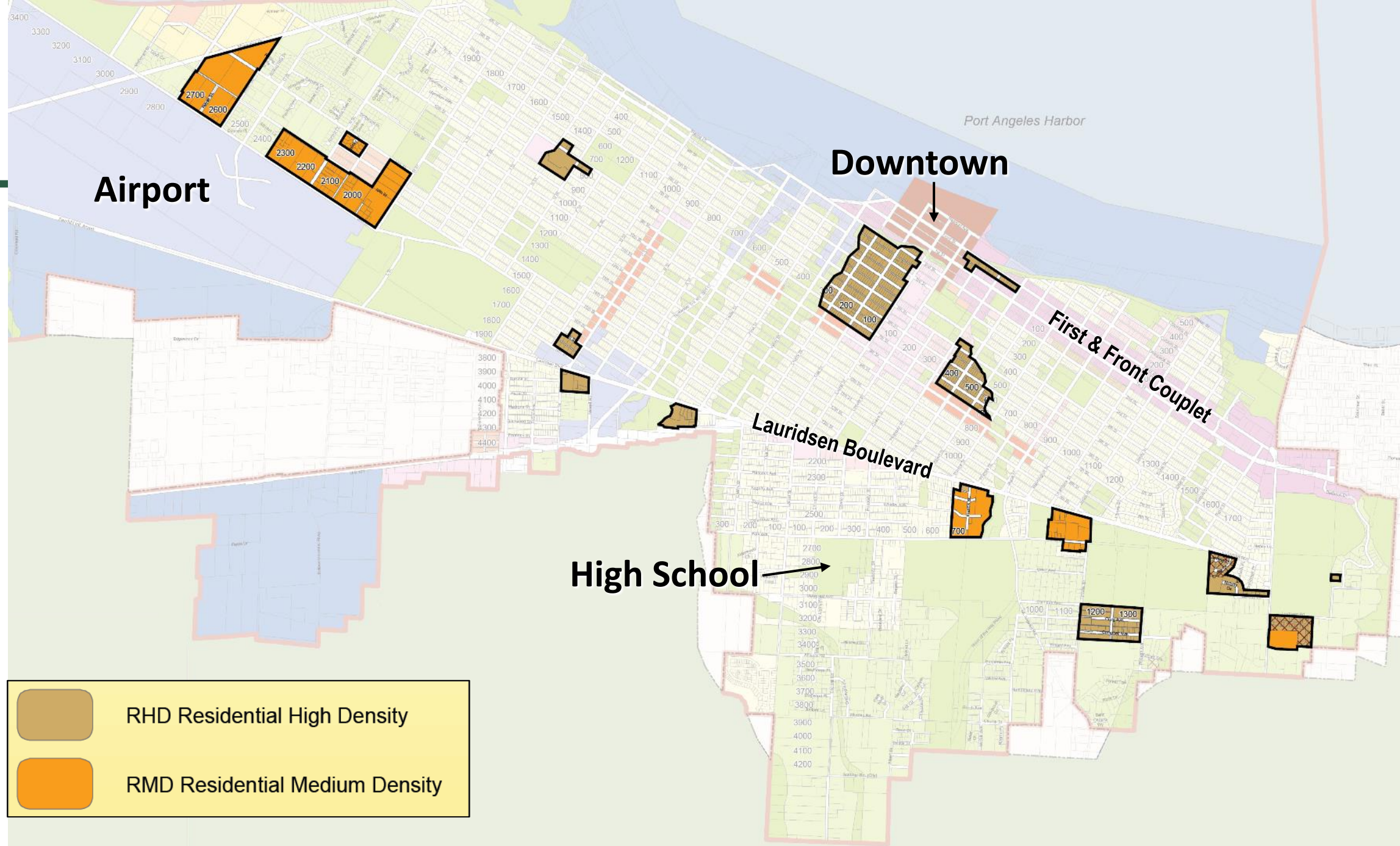
Duplexes: Require garages/driveways off alleys (where available) and other modest design standards to ensure neighborhood compatibility.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Dislike
1. Very bad idea



RMD & RHD ZONES





Integrating More Housing in the RMD & RHD Zones

Current Situation:

- All housing types are allowed, including single-family
- Maximum lot and site coverage limits are limiting for townhouse and multifamily development
- Building height limits are inconsistent with density limits

Standard	RMD	RHD
Minimum lot area (square feet)	3,500	
Minimum lot width (feet)	40	30
Maximum lot coverage / building footprint (percent)	50%	50%
Maximum site coverage / impervious surface (percent)	75%	75%
Maximum building height (feet)	35	35
Minimum building height (floors)		
Minimum density (net dwelling unit/acre)	4	10
Maximum density (net dwelling unit/acre)	14	40
Minimum front setback (feet)	15	15





Integrating More Housing in the RMD & RHD Zones

Goal: Expand infill housing opportunities in the RMD & RHD zones while ensuring neighborhood compatibility

Concepts:

- Relax or eliminate current density limits
- Relax or eliminate lot coverage and impervious area standards
- Consider a height increase in RHD zone from 35' to 45'
(supported by Comprehensive Plan policies)

Modest design standards to ensure neighborhood compatibility:

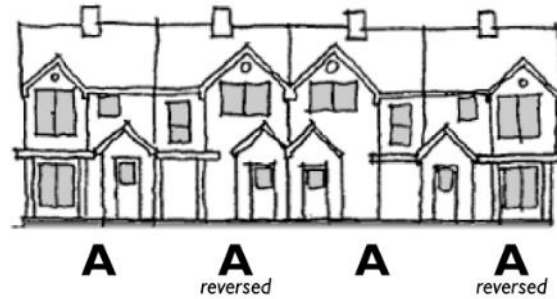
- Façade articulation standards/options
- Mitigate driveway/parking/garage impacts on street
- Covered entries
- Minimum usable open space for units





Integrating More Housing in the RMD & RHD Zones

Façade articulation standards



Open space/amenity standards



Parking location/design standards



Covered entries





RMD & RHD zones: Relax lot & density provisions when coupled with modest design standards to ensure neighborhood compatibility.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Dislike
1. Very bad idea



CODE CONCEPTS

Downtown

- Key Issues**
- Block frontages
 - Building height



Downtown Block Frontages

Current Situation:

- There are virtually no design standards in place today
- Only relevant standard (which is a good start):

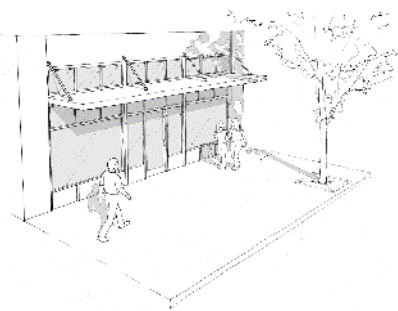
At least 50 percent of the front property line shall be abutted by a building; provided, however, that for the purposes of this section, a publicly accessible plaza, square, outdoor dining area, or similar area shall be considered a building.

- This still allows parking lots to front on the key commercial/pedestrian streets
- There are no standards for parking access, weather protection, façade design, plaza design, and other features that promote a great pedestrian experience



Block Frontage Standards

What development looks like from the street

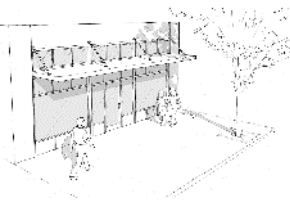


Storefront

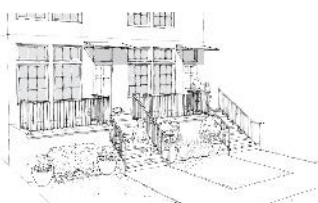


Landscaped

Mixed/Secondary








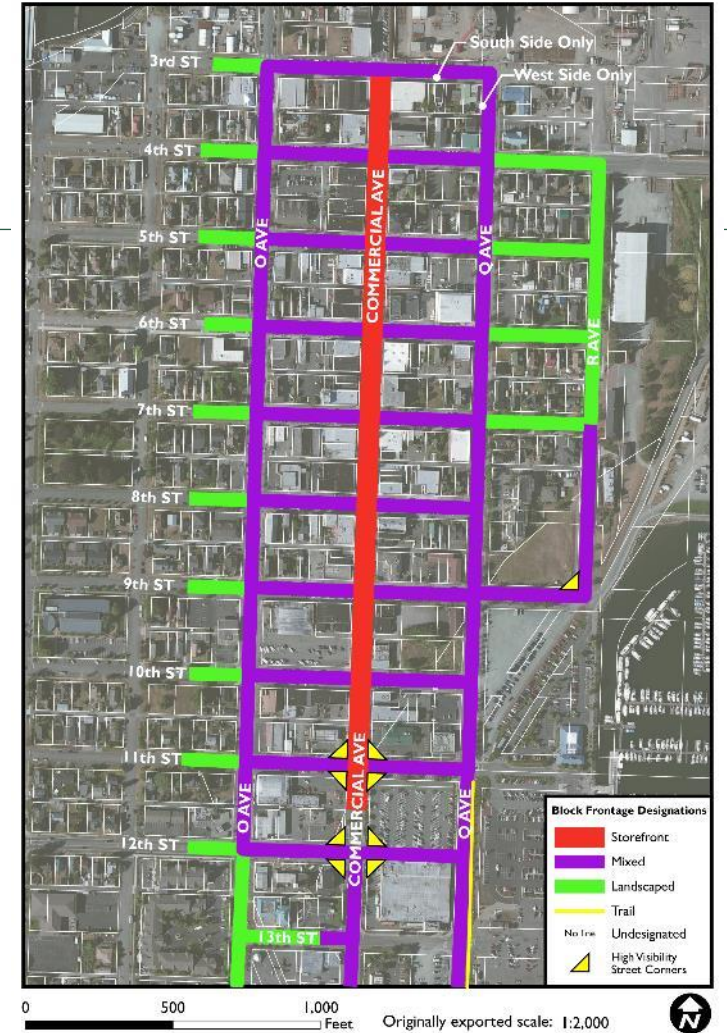
OR



Typical block frontage designation types

Block Frontage Designations

-  Storefront
-  Mixed
-  Landscaped
-  Trail
- No line Undesignated
-  High Visibility Street Corners



Example block frontage designation map – new development on these streets must meet the standards associated with the specific block frontage type

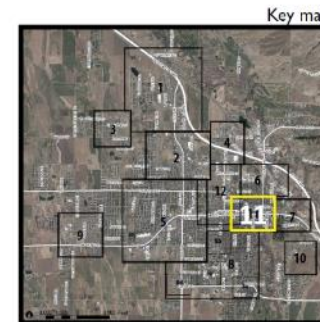
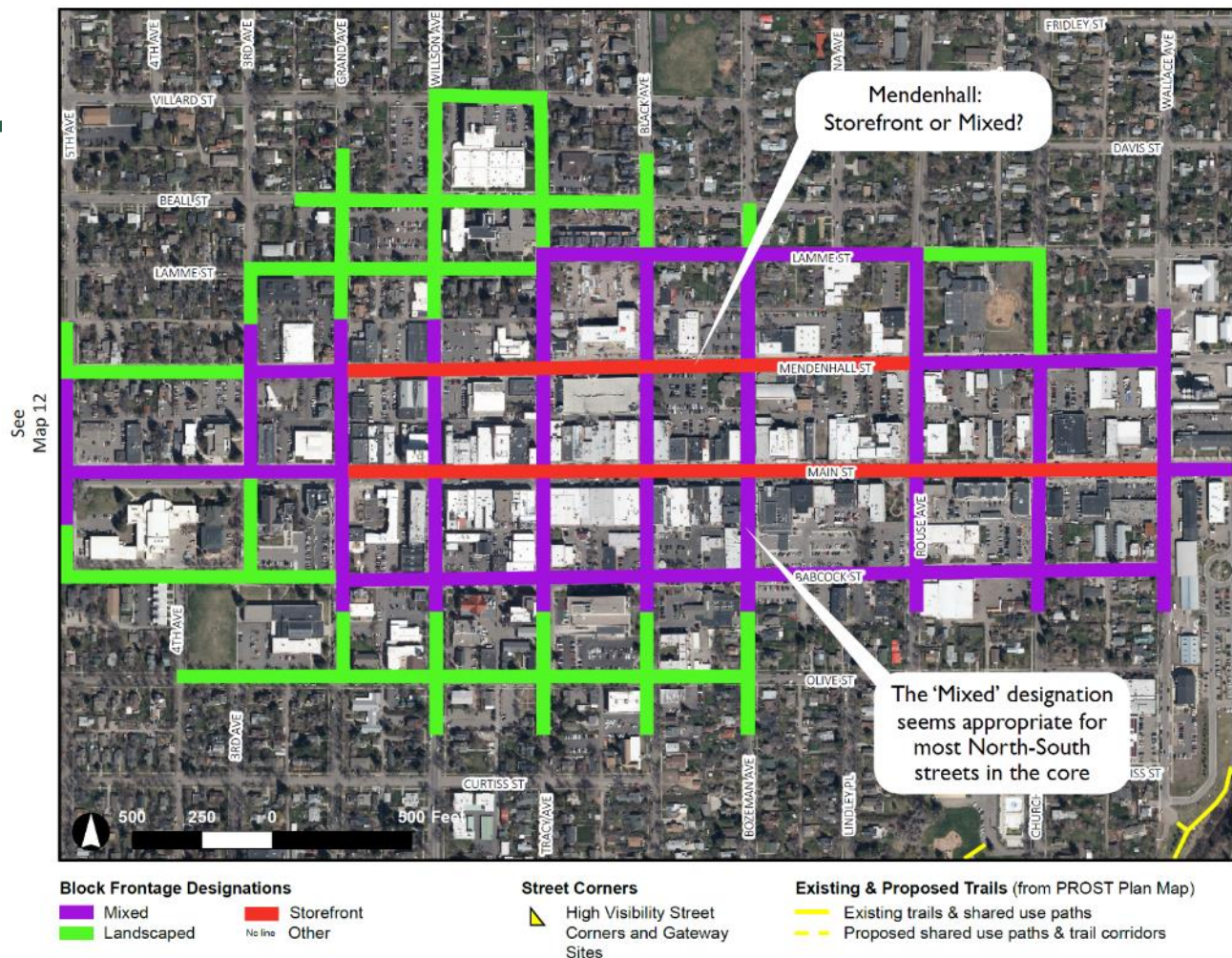


Why the block frontage approach?

- **It recognizes not all streets are the same**
For example, Lincoln Street (Highway 101) obviously warrants a different treatment than Downtown.
- **Standards can be tailored for desired building/streetscape form.**
Requirements for sidewalk widths, landscaping types, windows, parking location, and other issues can be adjusted to help shape the built environment.
- **The approach is adaptable to changing conditions.**
If the context or community objectives change, the block frontage designations can also change.
- **The approach has been successful elsewhere.**
Numerous Washington cities have employed this approach for years – and it's helped them achieve community design objectives.

COMMUNITY DESIGN FRAMEWORK MAP
MAP 11: DOWNTOWN

**Block Frontage Standards
 Examples**



Main street storefronts



Mendenhall is now characterized by a mix of storefronts and landscaped frontages: should it be designated Storefront or Mixed?



A 'Mixed' designation seems appropriate on Babcock Street.

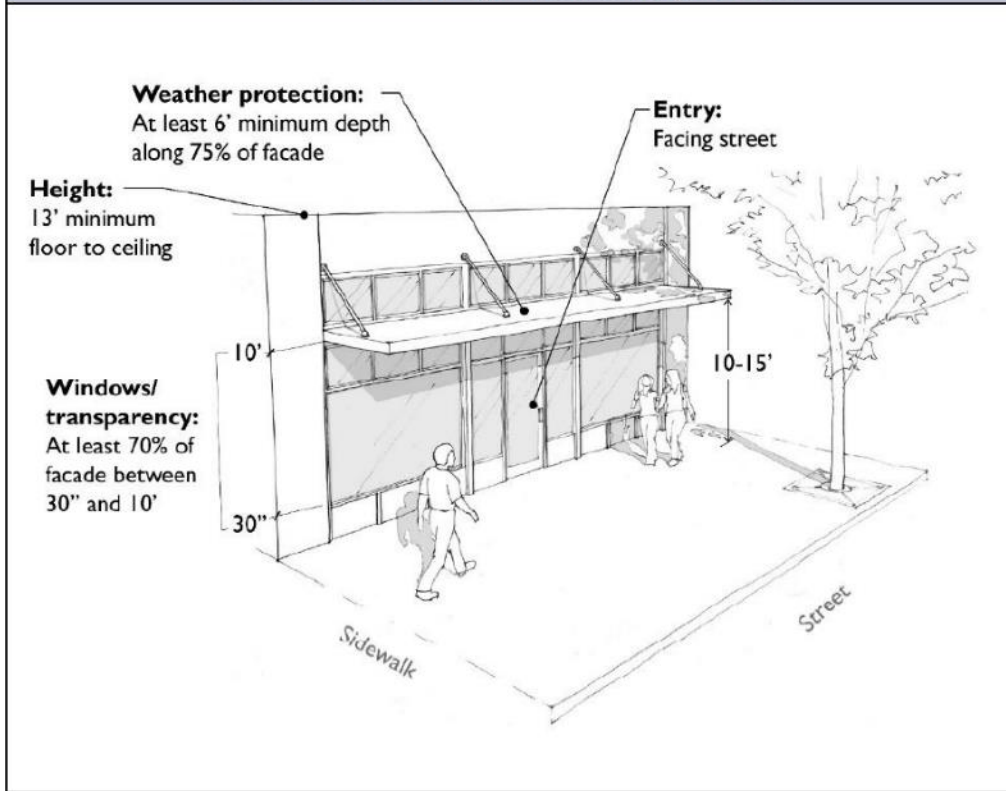


Many streets on the north and south edges of B-3 zone are appropriate for the Landscaped designation



Storefront

Figure 18.31.320
Storefront block-frontages vision and key standards



Reserved for your most critical block-frontages



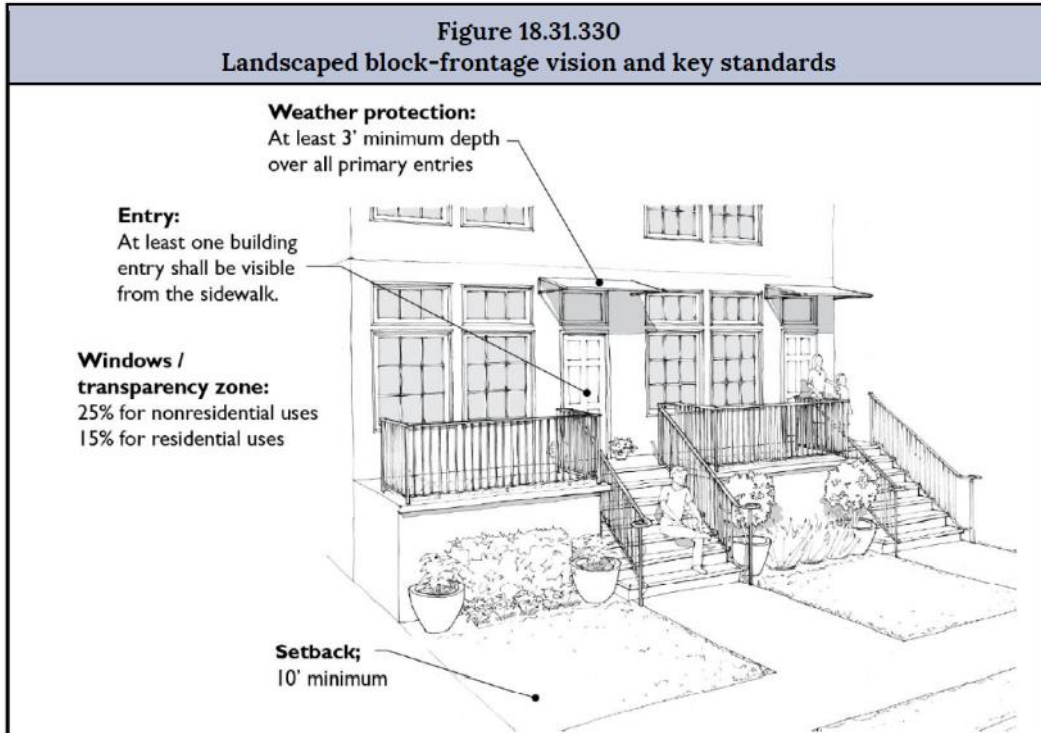
Typical standards:

- Residential not allowed on ground floor facing street
- No new parking lots adjacent to the street





Landscaped



Local examples

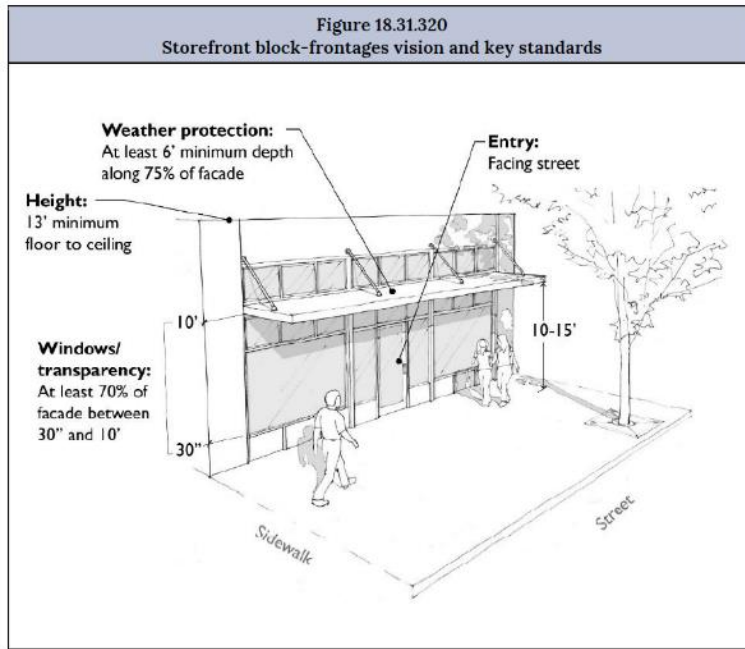


Parking lots – OK to side or rear of buildings but not in front

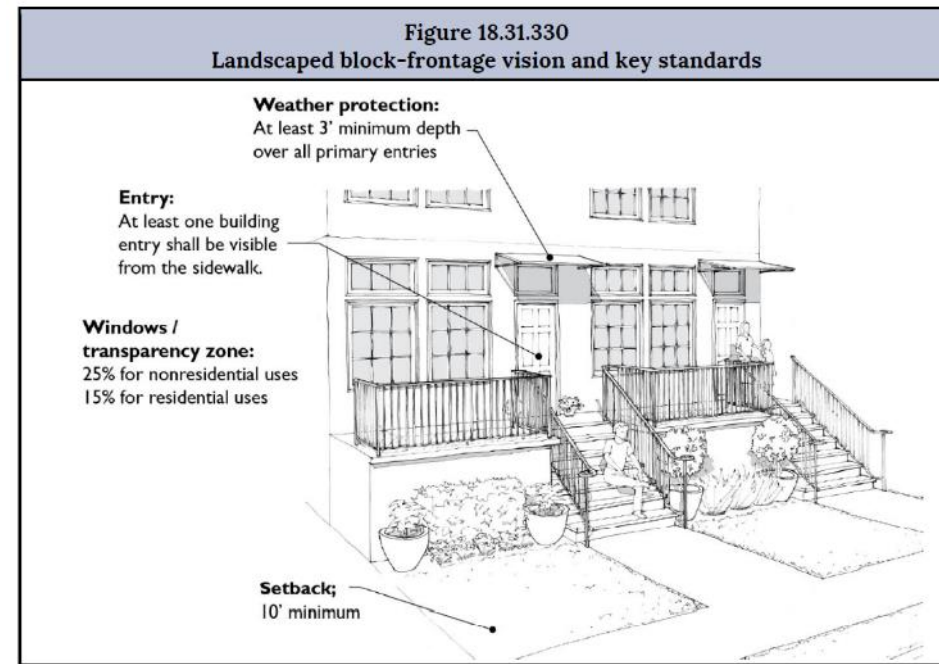


Mixed/Secondary

More flexible – but still pedestrian-oriented



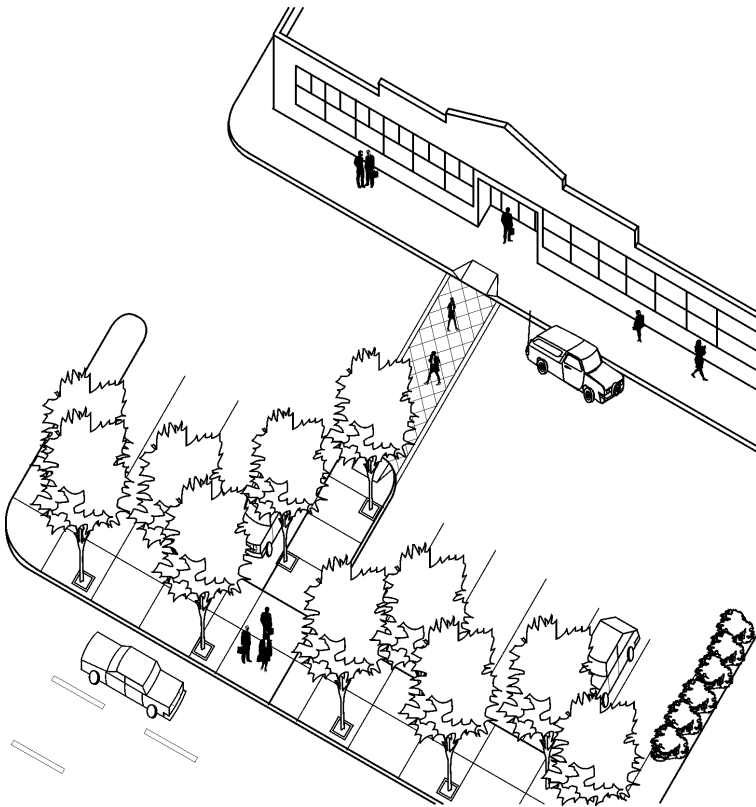
OR



Parking lots – OK to side or rear of buildings but not in front

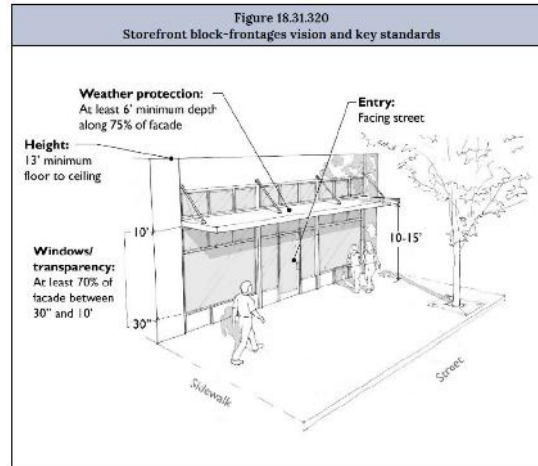


Undesignated

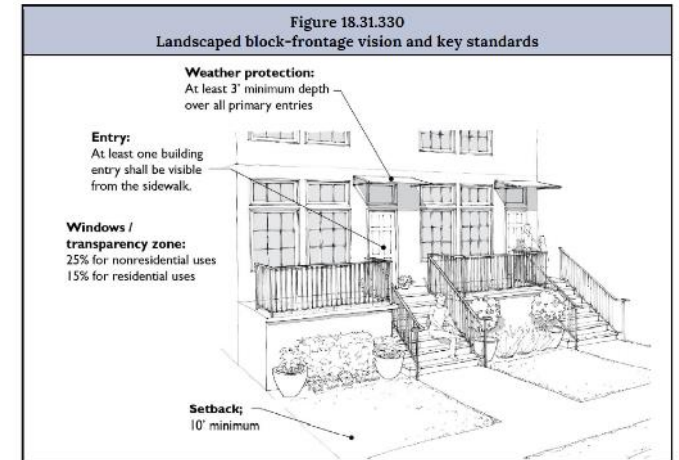


Most flexible

OR



OR



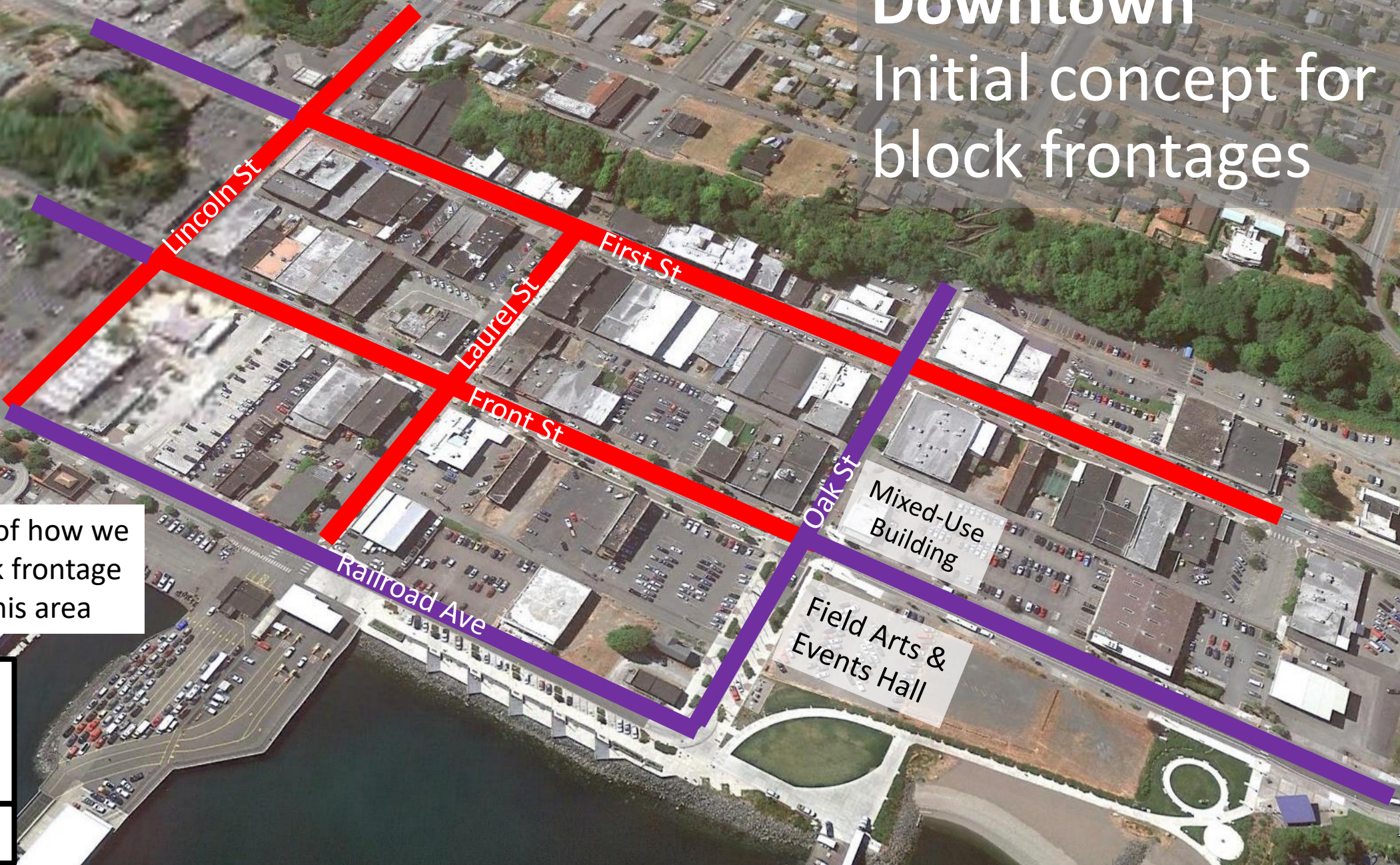
Parking lots – No special restrictions on location

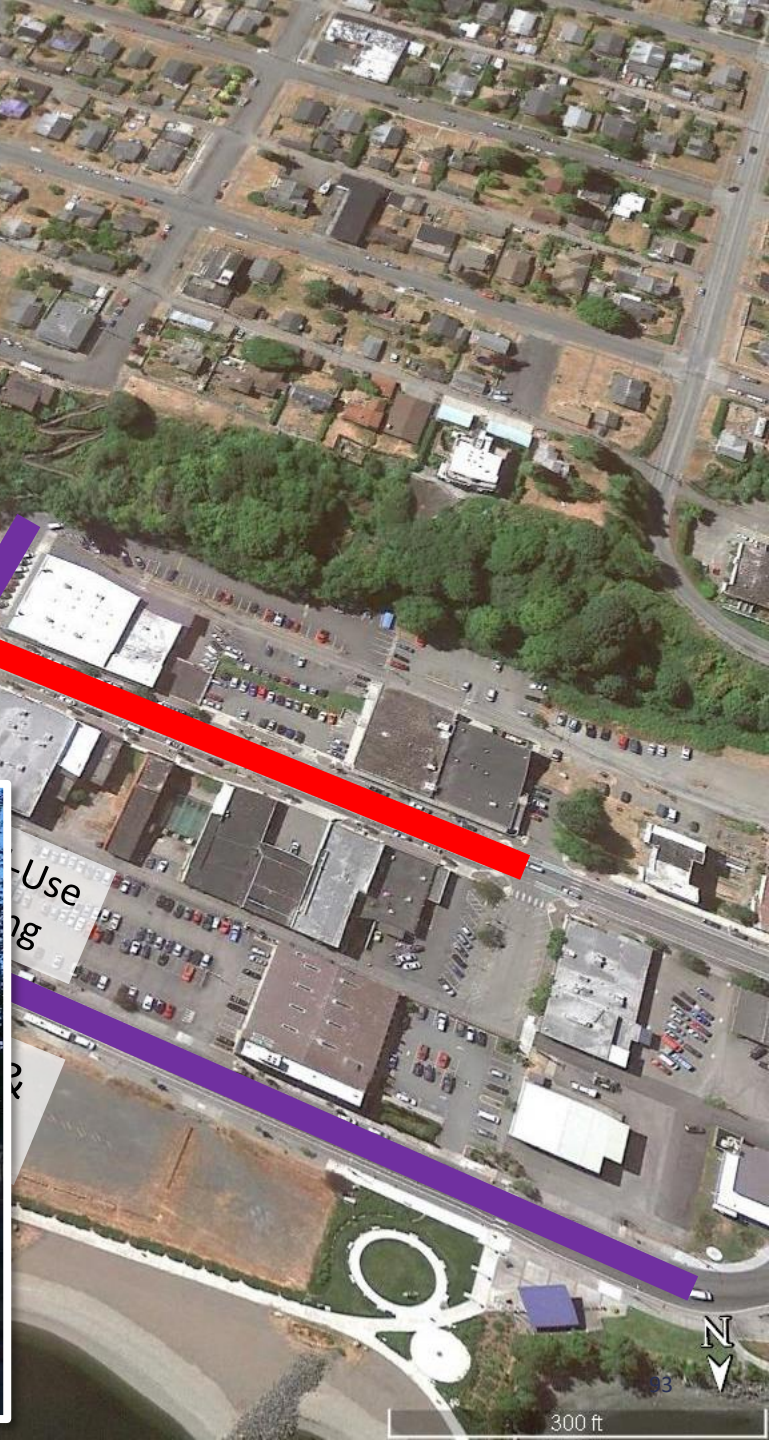
Downtown

Initial concept for block frontages

A quick example of how we might apply block frontage designations to this area

	Storefront
	Mixed
	Landscaped
No line	Undesignated







Downtown (Central Business District zone): Block frontage approach

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Dislike
1. Very bad idea



Downtown Height Limit

Current Situation:

- Maximum building height: 45 feet
Additional height may be approved through a conditional use permit process that considers the impacts upon existing views and solar protection, shadow impacts, and factors such as the height of the bluff south of First Street.
- Minimum building height: 3 floors

Much of Downtown doesn't meet the minimum building height





Downtown Height Limit

Goal: Expand economic development and housing opportunities in Downtown. Allow building heights that leverage the building code and match market trends.

Concepts:

- Eliminate the minimum building height
- Increase maximum height to 7 stories (75-80')
Helps implement Comprehensive Plan policies A-6.02 and P-6B.07 involving commercial zone height and development capacity issues



5-story mixed-use



7-story mixed-use building



Downtown (Central Business District zone):
Eliminate minimum height & increase the maximum height to 7-stories.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Dislike
1. Very bad idea



Downtown (Central Business District zone):

If height limits are increased to 7-stories,
how should such taller buildings be allowed?

Choose best approach:

5. Allow by right (no special review process needed)
4. Allow by right – provided housing is the primary use
(no special review process needed)
3. Allow only with the integration of some affordable housing
(% of units & level of affordability TBD)
2. Only with the integration of a public amenity feature
(choose from a list)
1. Don't increase height, retain the current height limit



Downtown Height Increase – Extra Height for a Hotel?

Current Situation:

Maximum building height: 45 feet

Additional height may be approved through a conditional use permit (CUP).

Concept:

Allow opportunity for a hotel up to 15-stories through a conditional use permit – to include a visual impact analysis.



Example: Downtown Coeur d'Alene, Idaho, has several ~15 story residential buildings (hotel at right).



Downtown (Central Business District zone):
Allow opportunity for a hotel up to 15-stories
through a conditional use permit.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea



CODE CONCEPTS

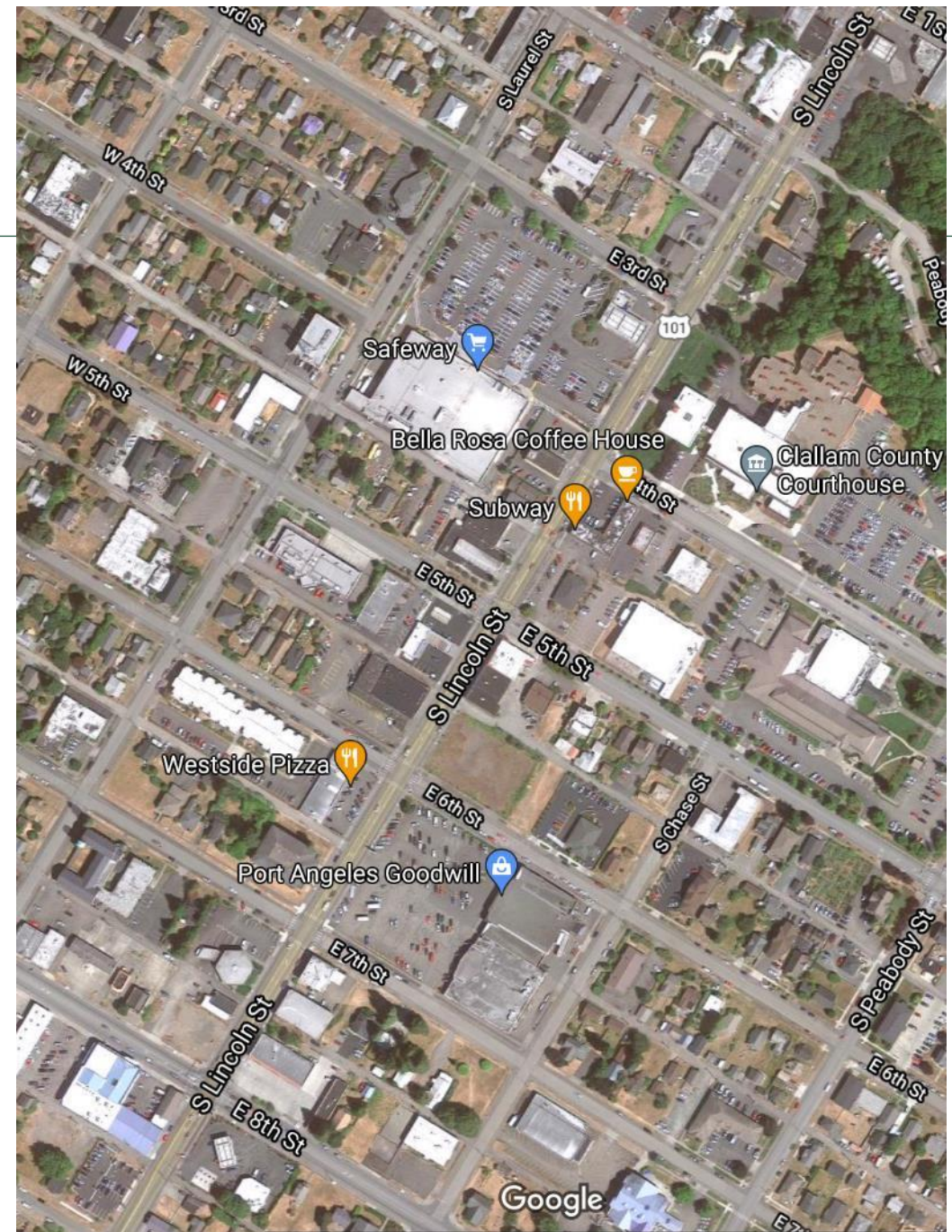
Lincoln Street Area

Key Issues

- Block frontages
- Building height



Lincoln Street Block Frontages





Lincoln Street Block Frontages

There are no block frontage related standards in place that affect building location/orientation

Under current code – either one of these could be built on Lincoln Street



Three-story mixed-use building with ground level storefront adjacent to sidewalk

OR



Auto-oriented strip retail center with parking in front

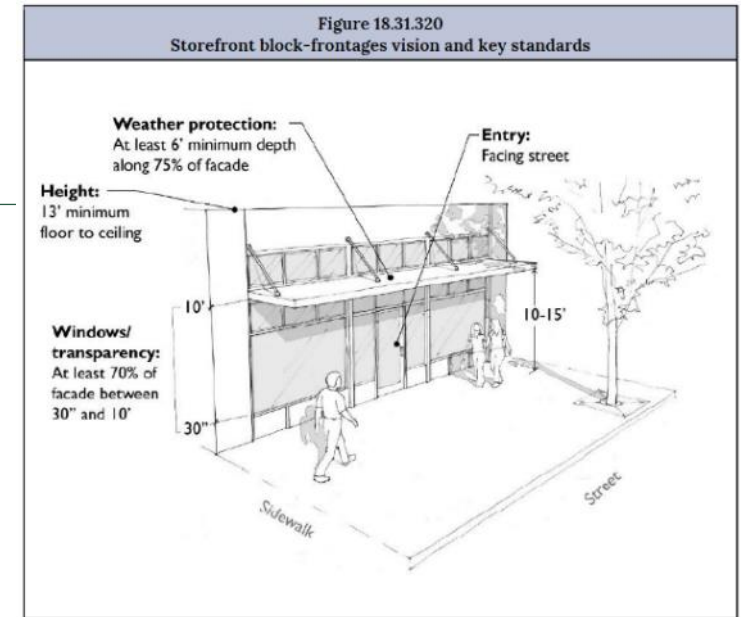
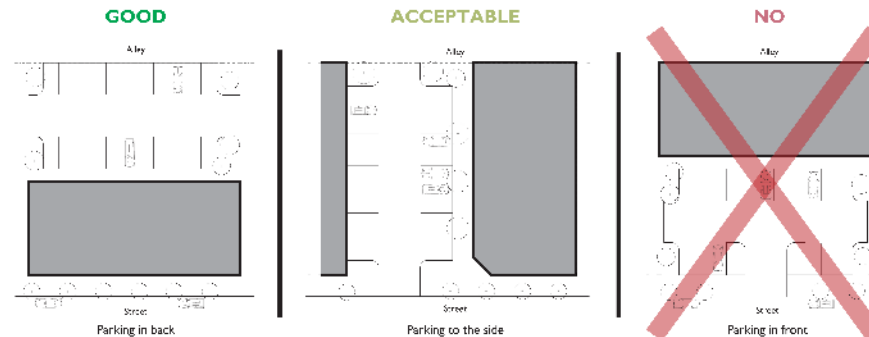


Lincoln Street Block Frontages

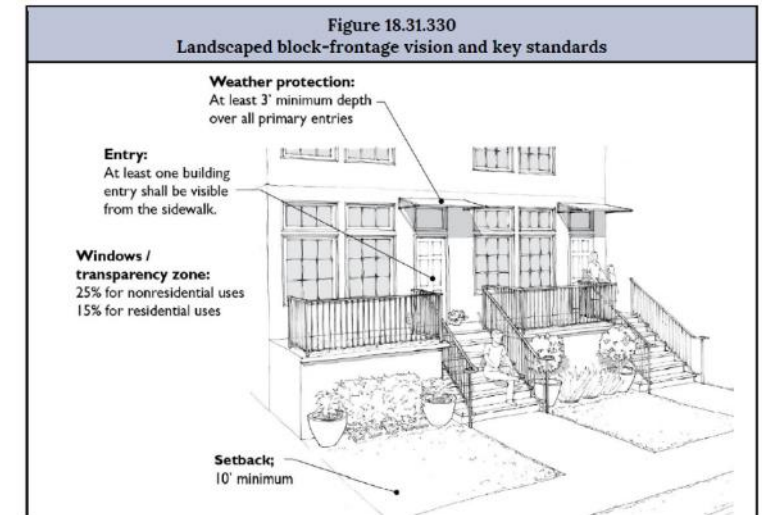
Goal: Maintain and strengthen the unique character of the Lincoln Street corridor by fostering more pedestrian-oriented forms of development

Concepts:

- Require new developments to be oriented towards the Lincoln Street, with parking placed to the side or rear.
- Allow flexibility for storefront designs OR buildings with modest landscaped setbacks.



OR

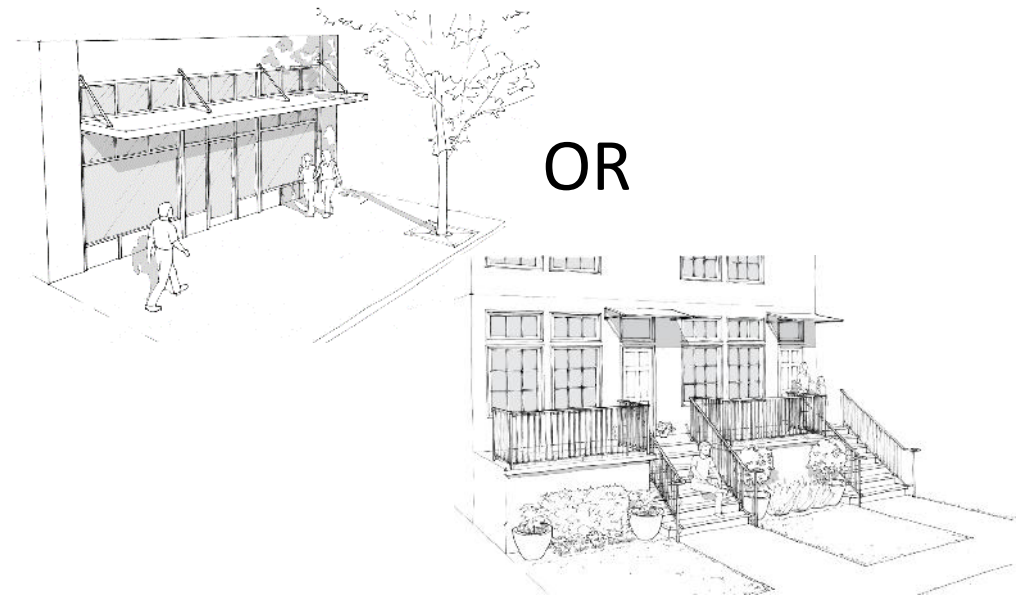


Lincoln Street Block Frontages:

Require new developments to be oriented towards the street, with option of storefront or landscaped setback, with parking placed to the side or rear of buildings

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea





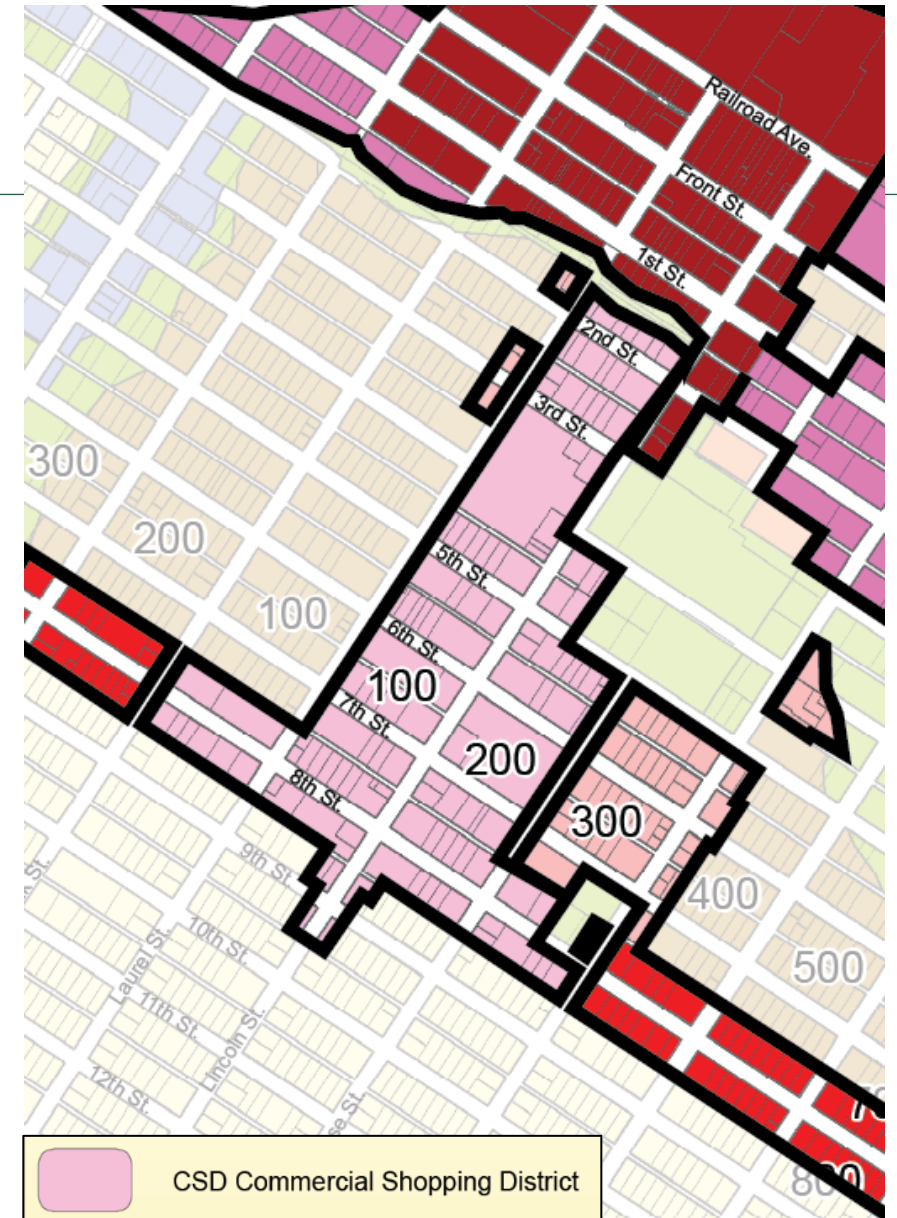
Lincoln Street Area - Height Limit

Current Situation:

Maximum building height in the CSD zone:
35 feet (3 stories)

Challenge:

This height limit is only slightly more than residential zones and doesn't allow economically viable infill development and redevelopment.





Lincoln Street Area - Height Limit

Goal: Expand economic development and housing opportunities. Allow building heights that leverage the building code and match market trends.

Concept:

Increase maximum building height to allow 4-6 story buildings in the CSD zone – only on the west side of Lincoln Street to preserve mountain views

Helps implement Comprehensive Plan policies A-6.02 and P-6B.07 involving commercial zone height and development capacity issues



An example of wood-over-concrete construction that is common across the Pacific Northwest



Viewshed analysis by WSU students



Lincoln Street Area - Height Limit

4 story building



5 story building



6 story building



All examples use various techniques to help mitigate their height, including pitched roofs, façade modulation, changes in materials and window patterns, and upper-level step-backs



Lincoln Street Area:

Increase allowed height in the CSD zone on sites west of Lincoln Street

With all options, integrate massing standards to add visual interest and reduce the perceived scale of large buildings and integrate measures to ease transitions to single family zones.

Choose best approach:

4. Up to six stories
3. Up to five stories
2. Up to four stories
1. No, retain the current height limit



Lincoln Street Area:

If height limits are increased, how should such taller buildings be allowed?

Choose best approach:

5. Allow by right (no special review process needed)
4. Allow by right – provided housing is the primary use (no special review process needed)
3. Allow only with the integration of some affordable housing (% of units & level of affordability TBD)
2. Only with the integration of a public amenity feature (choose from a list)
1. Don't increase height, retain the current height limit



CODE CONCEPTS

First/Front Couplet Area

Key Issues

- Block frontages
- Building height

First/Front Couplet Area

West of Race: More pedestrian-oriented standards

East of Race: More flexible standards





Front Street Block Frontages

Peabody to Race





First Street Block Frontages

Peabody to Race





First/Front Couplet Block Frontages

Peabody to Race

As with Lincoln Street, there are no block frontage related standards in place that affect building location/orientation

Under current code – either one of these could be built on Lincoln Street



Three-story mixed-use building with ground level storefront adjacent to sidewalk

OR



Auto-oriented strip retail center with parking in front



First/Front Couplet Block Frontages

Peabody to Race

Goal: Maintain and strengthen the character of the First/Front corridor by fostering more pedestrian-oriented forms of development

Alternative Concepts.....next slide....

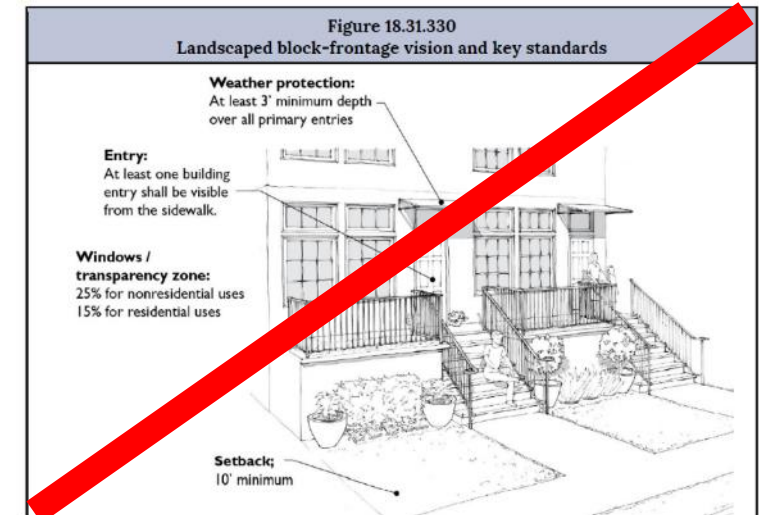
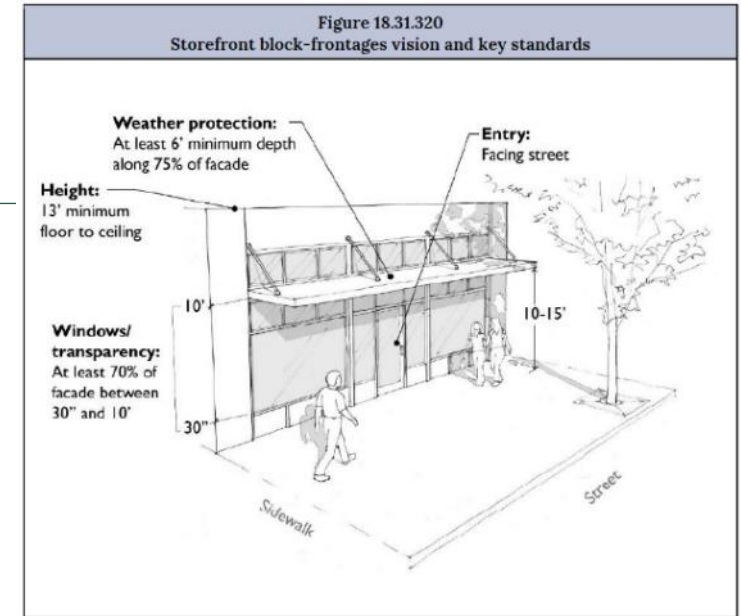


First/Front Couplet Block Frontages

Peabody to Race

Option “5”

- Reinforce storefront pattern by requiring new developments to include storefronts
- Parking must be placed to the side or rear.
- Ground floor residential along these street frontages isn't allowed



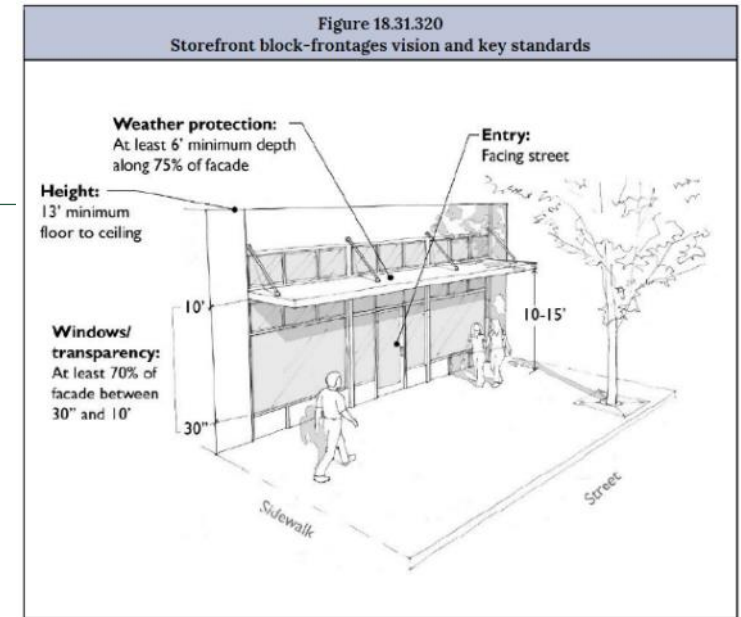
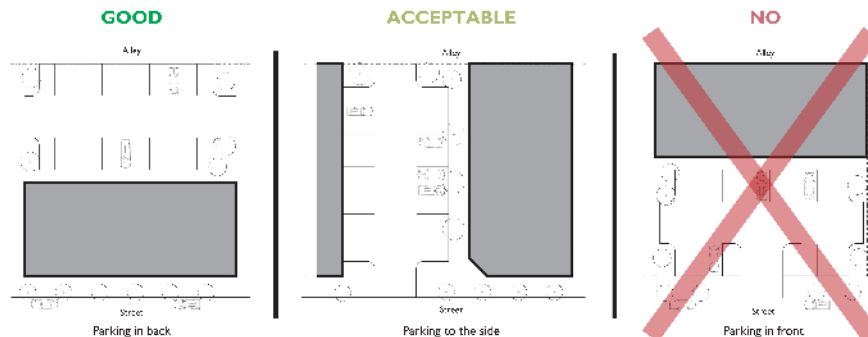


First/Front Couplet Block Frontages

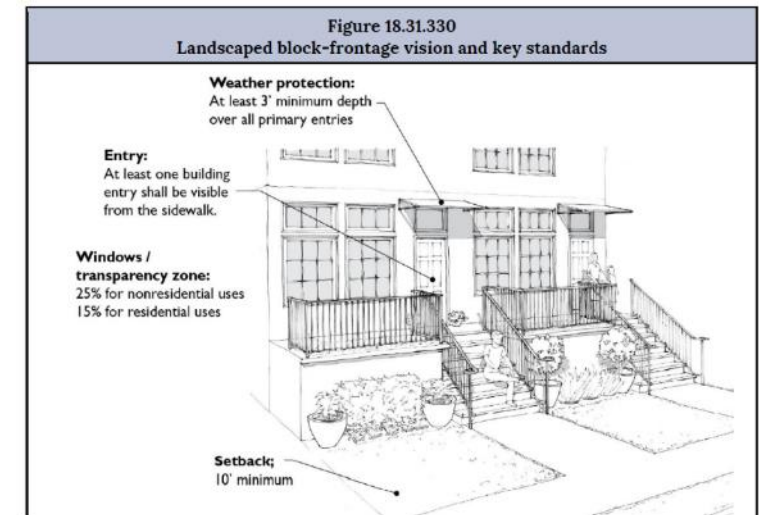
Peabody to Race

Option “4”

- Allow a more flexibility with frontages – both storefront AND landscaped setback are allowed
- Parking still must be placed to the side or rear.
- Ground floor residential along these street frontages IS allowed



OR





First/Front Couplet Block Frontages: Design options from Race to Peabody Street

Choose best approach:

5. Require storefronts and ground floor commercial
4. Allow storefronts or landscaped setbacks, parking to side or rear, allow option for ground floor residential
3. Neutral/unsure
2. Not good (both concepts)
1. Very bad idea (both concepts)



Front Street Block Frontages

Race Street to Golf Course Road





First Street Block Frontages

Race Street to Golf Course Road



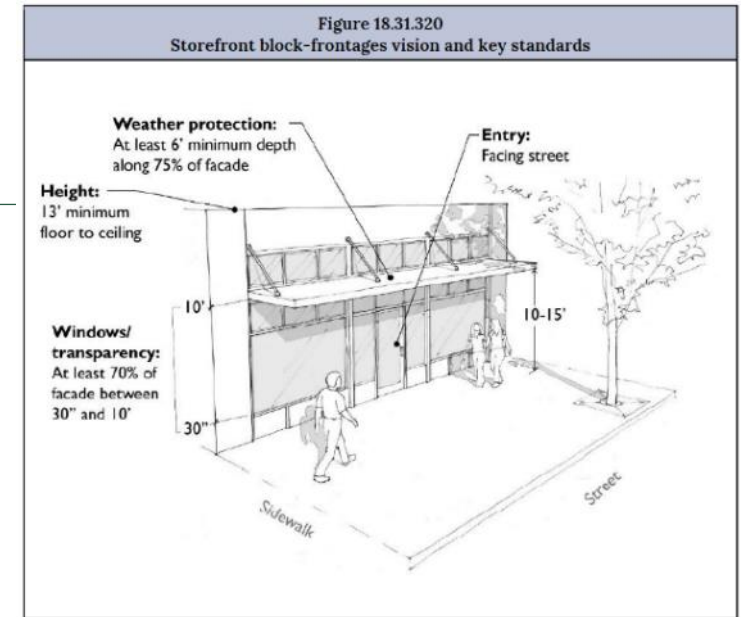
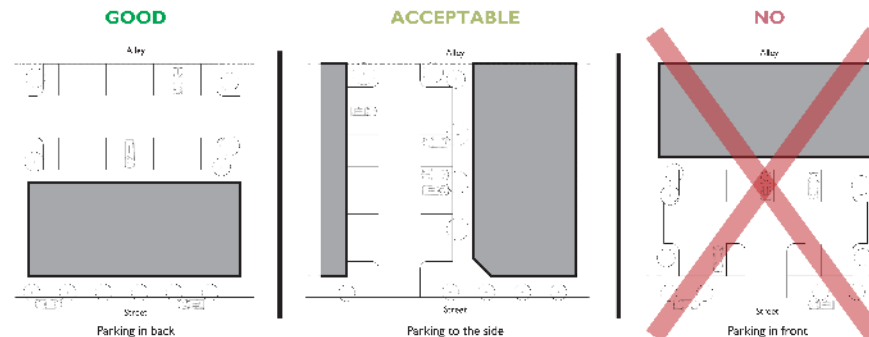


First/Front Couplet Block Frontages

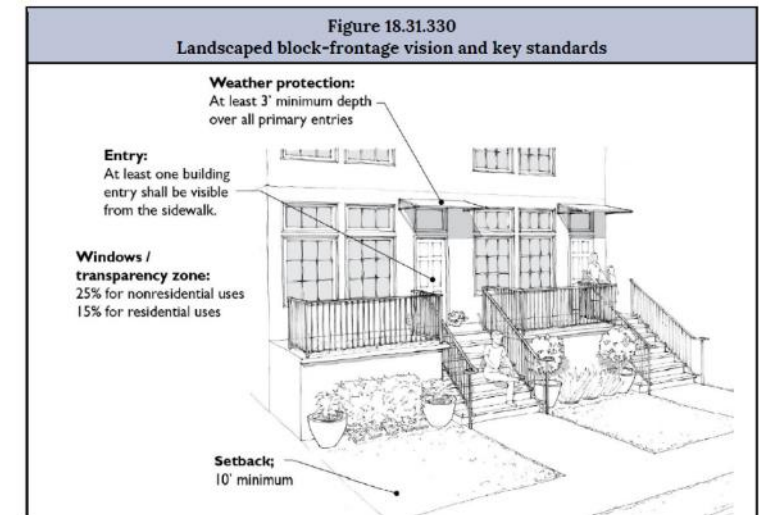
Goal: Maintain and strengthen the character of the First/Front corridor by fostering more pedestrian-oriented forms of development

Concepts:

- Require new developments to be oriented towards First/Front Streets, with parking placed to the side or rear.
- Allow flexibility for storefront designs OR buildings with modest landscaped setbacks.



OR

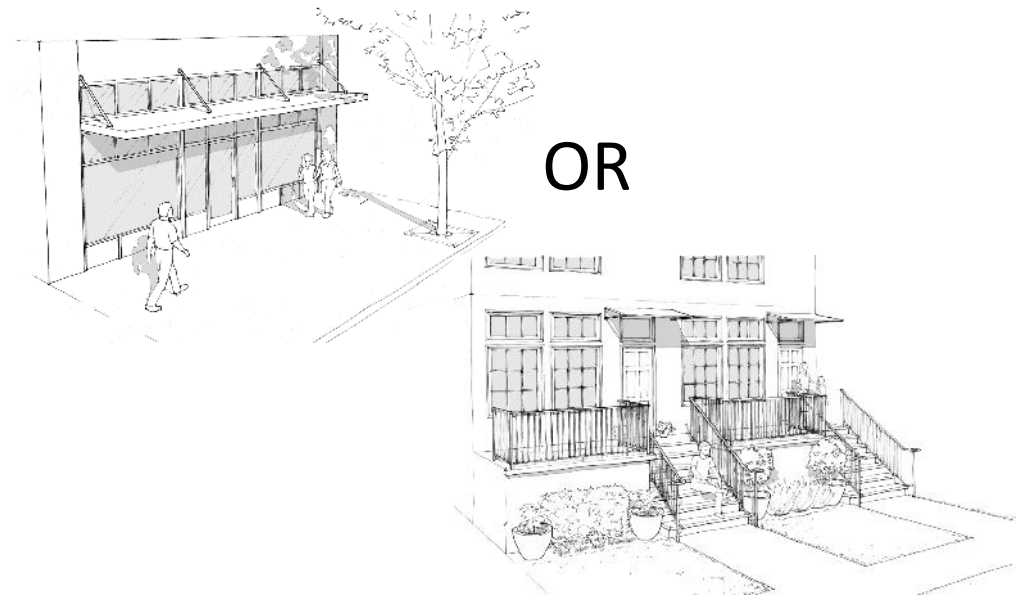


First/Front Couplet Block Frontages:

Require new developments between Race St & Golf Course Rd to be oriented towards the street, with option of storefront or landscaped setback, with parking placed to the side or rear of buildings

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea





First/Front Couplet Area - Height Limit

Current Situation:

Maximum building height in the CA zone:
35 feet (3 stories)

Challenge:

This height limit is only slightly more than residential zones and doesn't allow economically viable infill development and redevelopment.





First/Front Couplet Area - Height Limit

4 story building



5 story building



6 story building



All examples use various massing techniques to help mitigate their height, including roofline changes, façade modulation, and changes in materials, color and/or window patterns



First/Front Couplet

(whole corridor east of Downtown):

Increase allowed height

With all options, integrate massing standards to add visual interest and reduce the perceived scale of large buildings and integrate measures to ease transitions to single family zones.

Choose best approach:

4. Up to six stories
3. Up to five stories
2. Up to four stories
1. No, retain the current height limit



First/Front Couplet

(whole corridor east of Downtown):

If height limits are increased, how should such taller buildings be allowed?

Choose best approach:

5. Allow by right (no special review process needed)
4. Allow by right – provided housing is the primary use (no special review process needed)
3. Allow only with the integration of some affordable housing (% of units & level of affordability TBD)
2. Only with the integration of a public amenity feature (choose from a list)
1. Don't increase height, retain the current height limit



CODE CONCEPTS

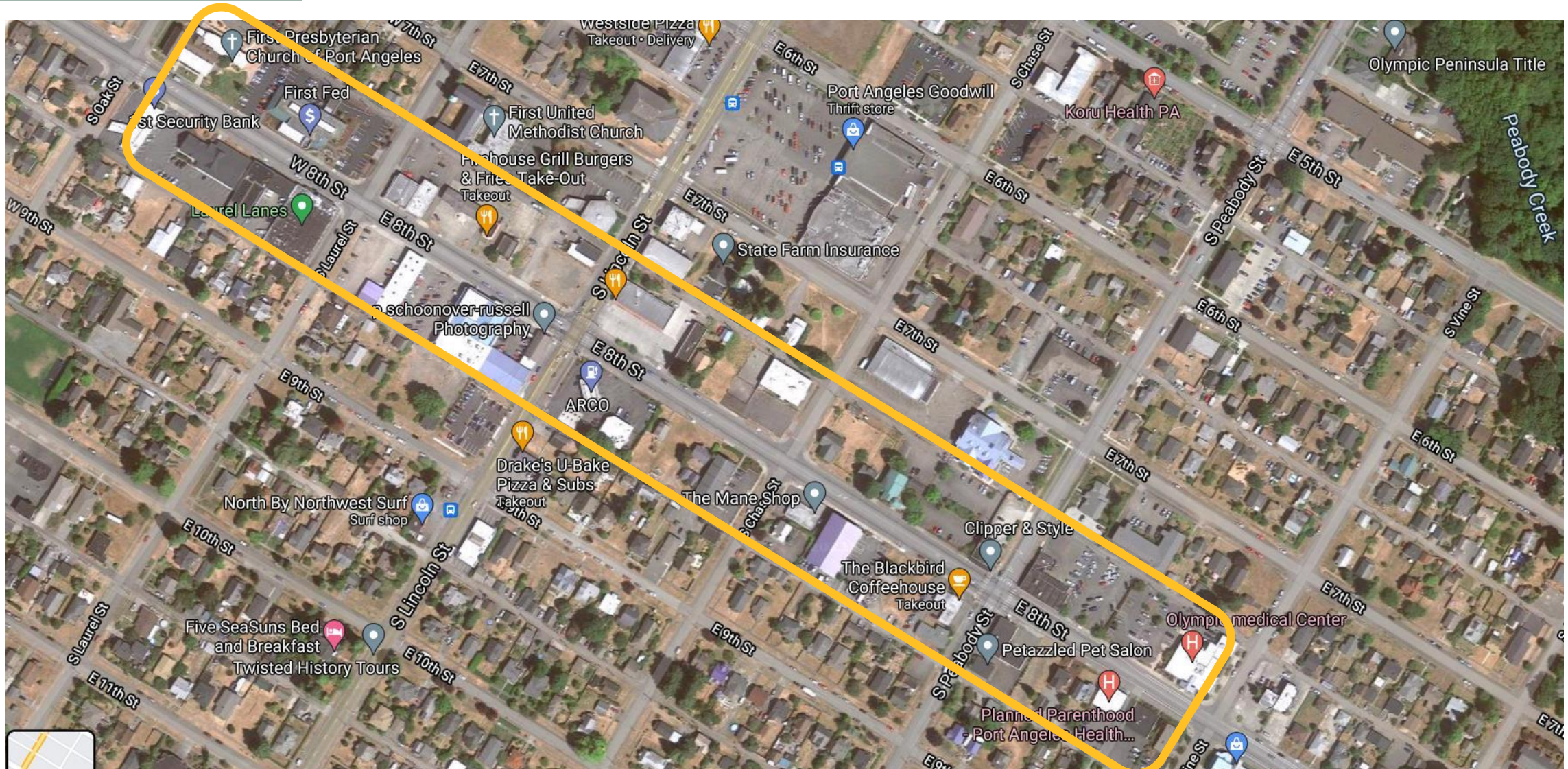
Other Commercial Areas

Key Issue

Block frontages



8th Street Corridor – Block Frontages





8th Street Corridor – Block Frontages





8th Street Block Frontages

As with Lincoln Street, there are no block frontage related standards in place that affect building location/orientation

Under current code – either one of these could be built on Lincoln Street



Three-story mixed-use building with ground level storefront adjacent to sidewalk

OR



Auto-oriented strip retail center with parking in front

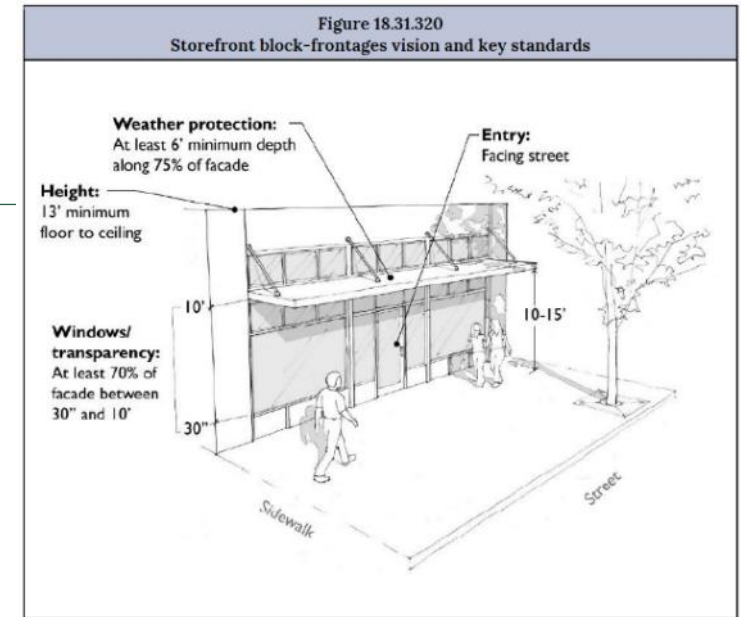
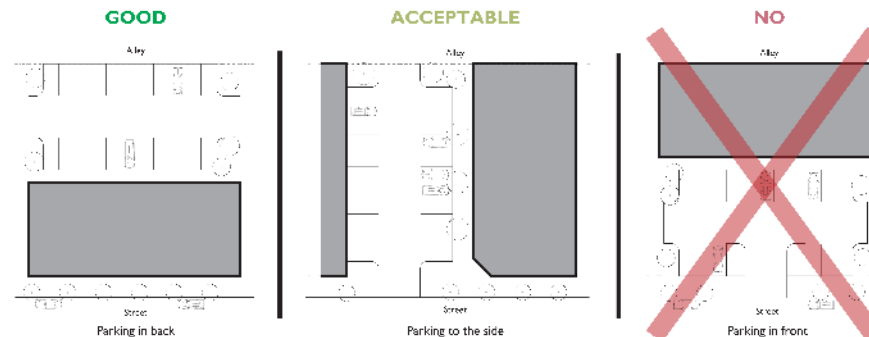


8th Street Block Frontages

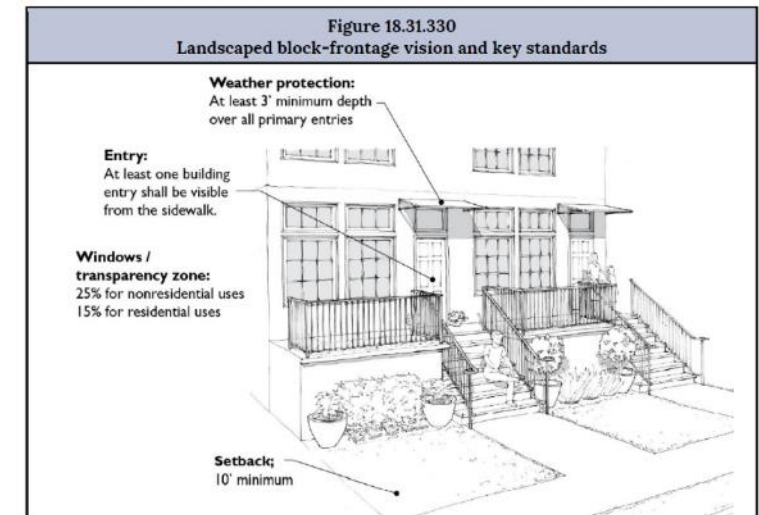
Goal: Maintain and strengthen the character of the First/Front corridor by fostering more pedestrian-oriented forms of development

Concepts:

- Require new developments to be oriented towards First/Front Streets, with parking placed to the side or rear.
- Allow flexibility for storefront designs OR buildings with modest landscaped setbacks.



OR

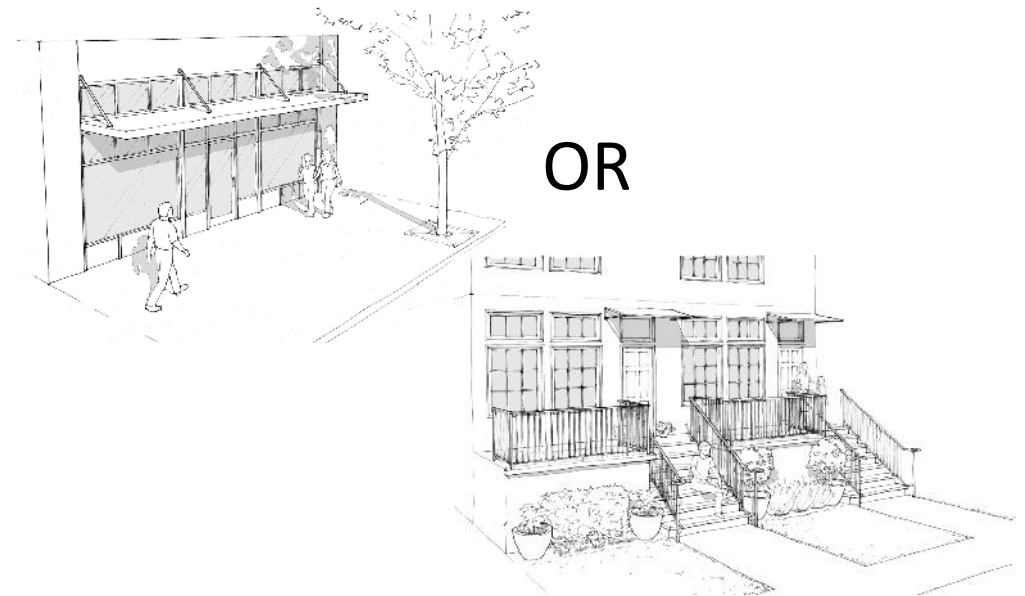


8th Street Block Frontages (CN & CSD zones):

Require new developments to be oriented towards the street, with option of storefront or landscaped setback, with parking placed to the side or rear of buildings

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea





C Street Corridor – Block Frontages





C Street Corridor – Block Frontages





C Street Block Frontages

As with Lincoln Street, there are no block frontage related standards in place that affect building location/orientation

Under current code – either one of these could be built on Lincoln Street



Three-story mixed-use building with ground level storefront adjacent to sidewalk

OR



Auto-oriented strip retail center with parking in front

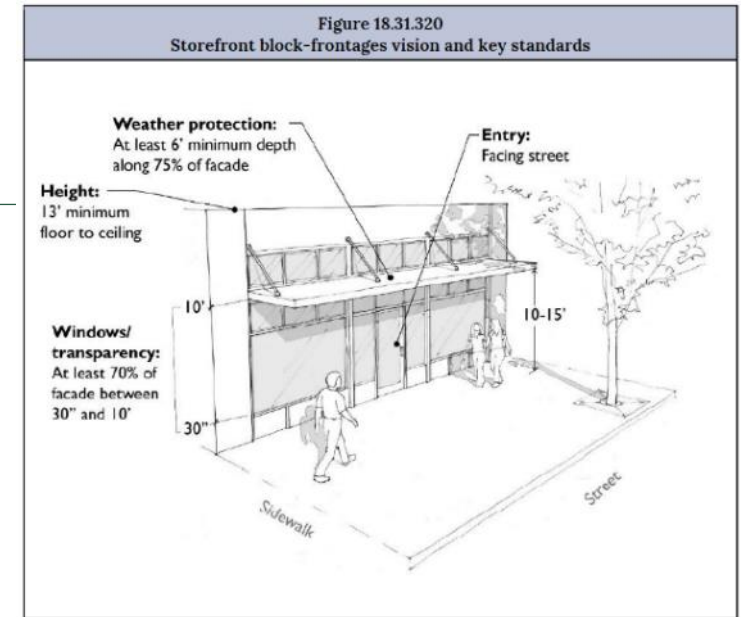
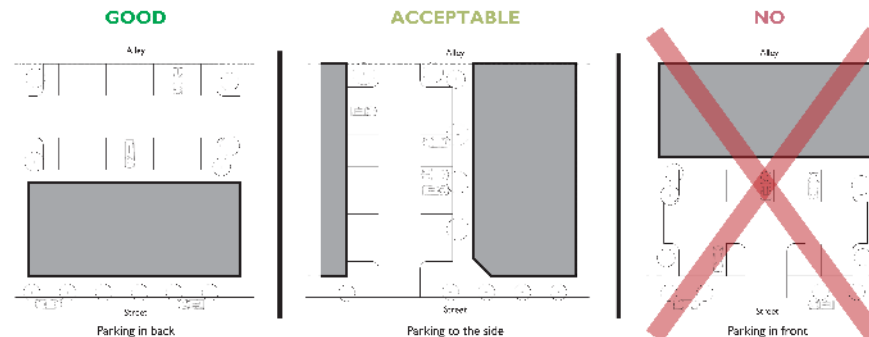


C Street Block Frontages

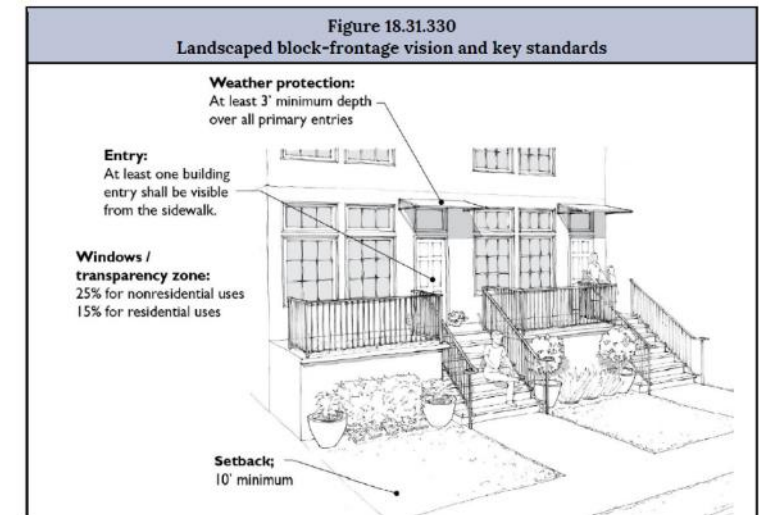
Goal: Maintain and strengthen the character of the First/Front corridor by fostering more pedestrian-oriented forms of development

Concepts:

- Require new developments to be oriented towards First/Front Streets, with parking placed to the side or rear.
- Allow flexibility for storefront designs OR buildings with modest landscaped setbacks.



OR

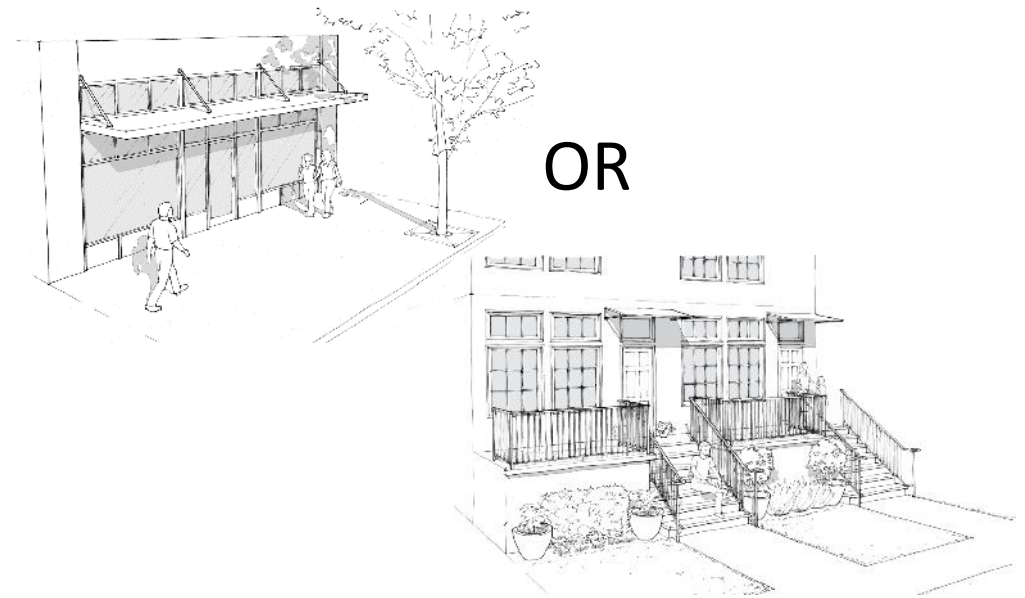


C Street Block Frontages:

Require new developments to be oriented towards the street, with option of storefront or landscaped setback, with parking placed to the side or rear of buildings

What do you think of this concept?

- 5 Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea





CODE CONCEPTS

Other Commercial and Multifamily Standards

Key Issues

- Parking
- Architectural styles
- Building massing, details, and materials



Parking Standards

Current Situation

The parking standards are somewhat relaxed, but more can be done to facilitate development

Goal:

- To reduce excess/underutilized parking
- To increase buildable land area and the economic feasibility of development
- To reduce impervious surface area

Concepts:

- Adjust minimum parking for a few key uses
- Allow the city's underutilized on-street parking to help meet minimum parking standards
- Update the shared and remote parking standards to make them easier to use





Parking: Adjust parking requirements for key uses, encourage more shared parking arrangements, and allow on-street parking in front of use to be included in parking calculations

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea



Building Design – Corporate Architecture

- Goal:
 - To promote buildings with an architectural character that reflects the region's aesthetic
 - To emphasize high quality design
 - To avoid generic, corporate architectural design
- Concept: Prohibit architecture that is defined predominately by corporate identity features and is difficult to adapt to other uses



Unless expensive remodels are made to rooflines, these buildings will always look like a pizza hut or IHOP



Corporate architecture: Prohibit designs that is costly or difficult to convert to other uses.

Where should such a prohibition be applied?

5. Citywide (all commercial zones)
4. Only in Downtown
3. Only in the neighborhood commercial areas (8th Street, C Street, Lauridsen Blvd.)
2. Neutral/unsure
1. Nowhere – this is a bad idea



Building Design – Architectural Styles

- To maximize flexibility for property owners, architects, and developers, do not require or restrict any specific architectural style
- Do not regulate window shape, roofline styles, exterior colors, structural features, etc.

2.0 ARCHITECTURE FINAL DRAFT [8.17.17]
Central Issaquah Architecture & Urban Design Manual

CRAFTSMAN STYLE

Materials | Walls

Objective
A.1.2.3.1 - Cladding shall be a bi- or tripartite composition of natural materials. Apply wall materials with a horizontal emphasis rather than vertical.

Description
Material changes are used to distinguish the base, middle, and top of the building, thus a tripartite composition. Some buildings may be bipartite, distinguishing only upper and lower parts. This composition and definition of the parts will vary per building, but the base must always be the height of the ground floor or greater.

The cladding shall be either all wood types (see "Appropriate") or a combination of wood and masonry. When combined, use heavier masonry materials at the base of the building and lighter wood materials above. Use wood trim of a contrasting color to accent and outline floors, door and window openings, and material changes.

Appropriate

- Horizontal wood lap siding
- Wood shingles (staggered or coursed)
- Board and batten wood siding, typically on upper floors
- If masonry is used (rustic brick or large boulders), it must only be on the lower portion of the building or chimney
- Wood trim, flush with cladding (minimum 6")
- Simulated wood also acceptable

Inappropriate

- More than three cladding types
- Vertically emphasize trim and material changes

Appropriate: Left: Wood shingles above horizontal wood siding. Right: Rock boulder base. [Image Left: Emerick Architects; Right: The Craftsman Bungalow]

Inappropriate: More than three cladding types - building shows six. [Image: Crandall Arambula]

2.0 ARCHITECTURE FINAL DRAFT [8.17.17]
Central Issaquah Architecture & Urban Design Manual

ARTS & CRAFTS STYLE

Massing

Objective
A.1.1.1 - Integrate simple block-like or bar shape base with multiple pointed roof forms and other vertical projections.

Description
Similar in mass to the Craftsman style, Arts & Crafts buildings are boxy at the base with rectilinear footprints. The steeper, more complex roof forms and vertical emphasis of Arts & Crafts distinguish this style from Craftsman. Steep pitched roof forms incorporate many gable ends and dormers and occasionally sweep close to the ground. These roofs also generally have shallower overhangs than Craftsman, if any at all.

Appropriate

- Asymmetrical composition (in elevation and volume)
- Steep pitches
- Gable or hipped roofs
- Gable or hipped dormers (match roof type)
- Intersecting ridges (or cross gable roof)
- Prominent external chimney, protruding from roof
- Lower and upper level canopies
- Upper level balconies

Inappropriate

- Low pitched or flat roof
- Combination of roof pitches
- More than two roof types/style

Appropriate: Arts & Crafts style massing. [Image: Crandall Arambula]

Appropriate: Arts & Crafts style massing. [Image: Crandall Arambula]



Architectural Character: Other than corporate architecture, avoid strict design standards that restrict architecture styles and diversity.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea

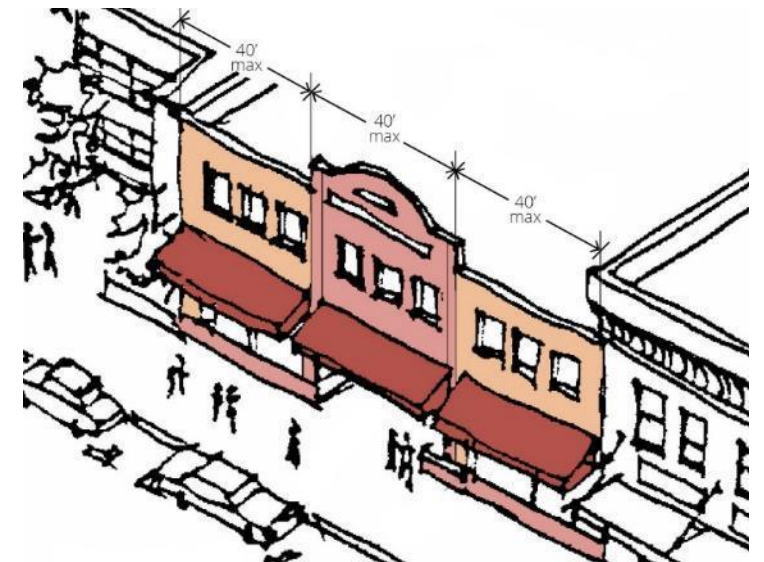


Building Design – Façade Massing and Articulation

Goal: To employ architectural elements that create a pattern or rhythm, dividing large buildings into smaller identifiable pieces.

Concept

- Integrate clear minimum façade articulation and massing standards, but allow strategic flexibility
- Minimum façade articulation every 30-60 feet (depending on the building type) through the use of windows, columns, roofline, materials, etc. to break up massing of the building
- Very long buildings must incorporate additional features to add visual interest





Building Massing: Implement basic façade massing & articulation standards for large buildings

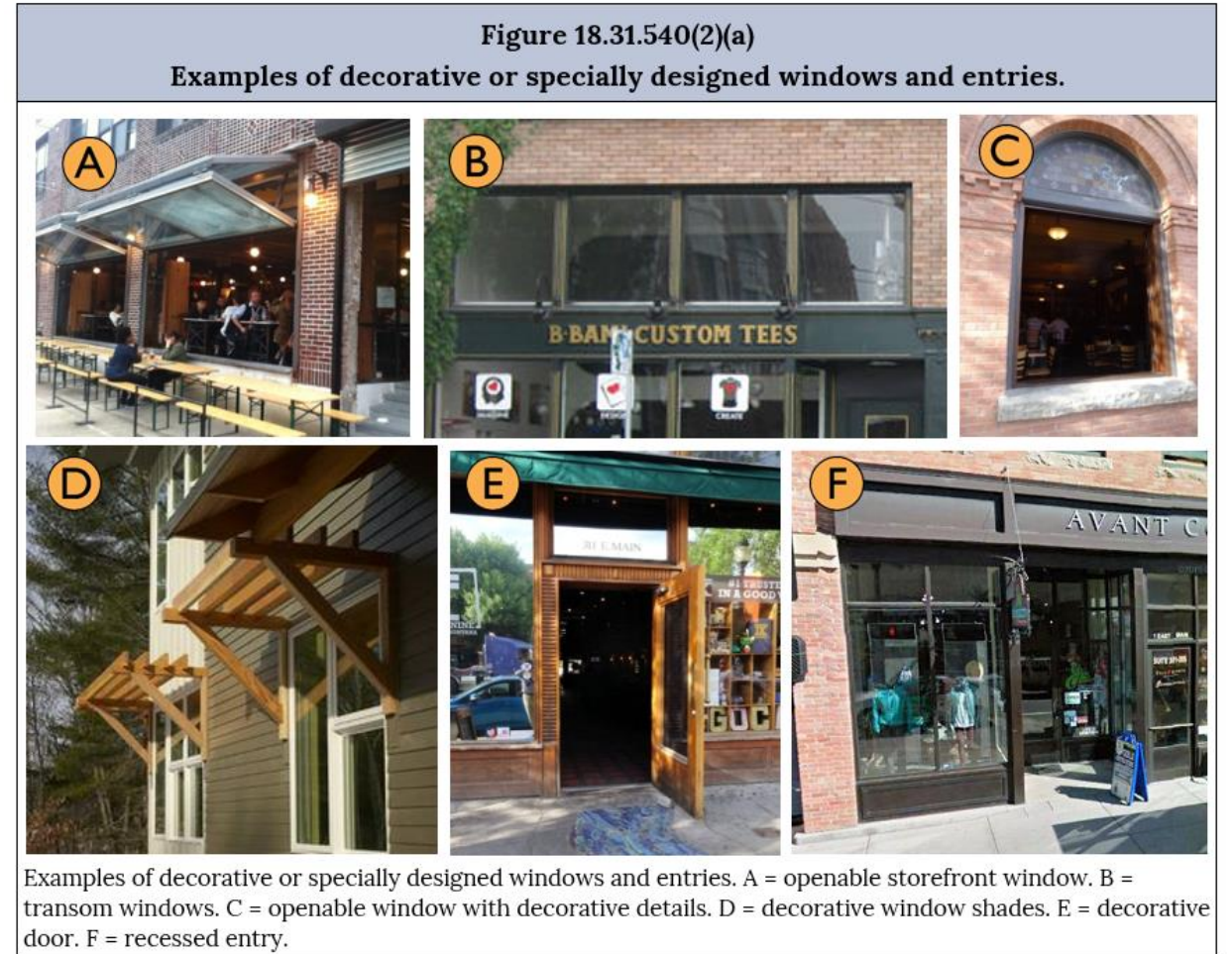
What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea



Building Design – Ground Floor Building Details

- For the ground floors of mixed-use and commercial buildings, require façade/door/window details for every articulation interval (30-60 feet)
- Examples:
 - Display windows
 - Roll-up windows or doors
 - Recessed entryways
 - Decorative light fixtures
 - Custom awnings
 - Decorative façade materials
 - Hand-crafted features or artwork





Building Details: Implement standards requiring a modest minimum number of building details on the ground floor of commercial and mixed-use buildings.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea



Building Design – Exterior Material Standards

Concrete block – must be mixed with other materials and/or include texture and colors



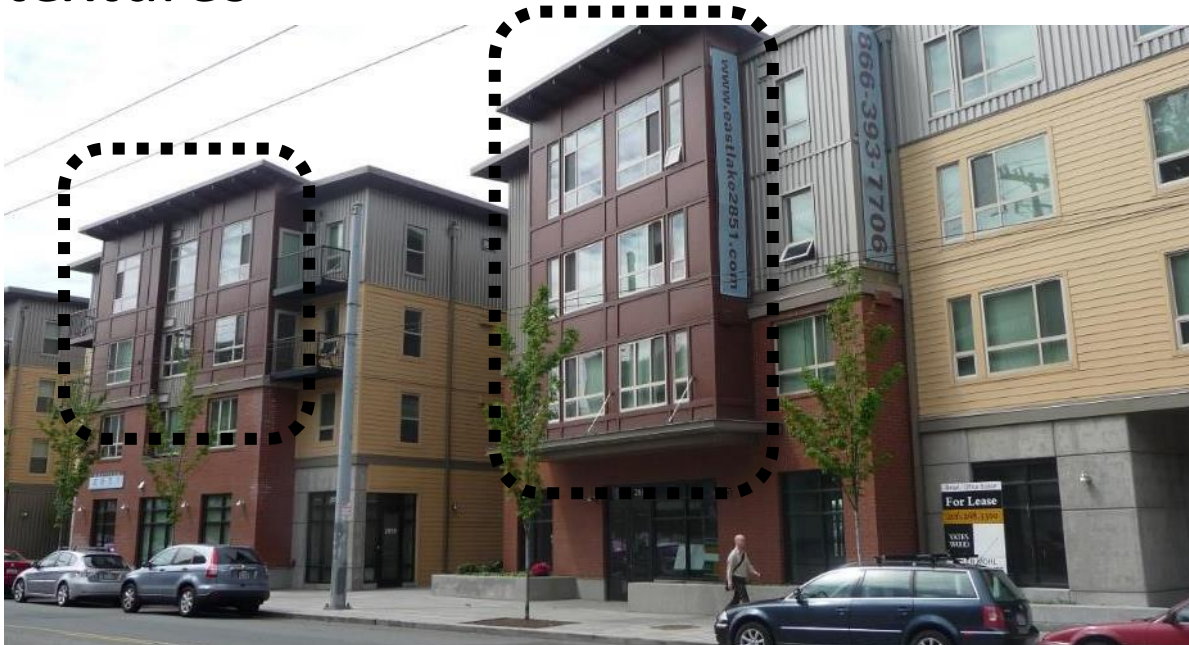
Metal siding – must be mixed with other materials and must be at least two feet above grade





Building Design – Exterior Material Standards

Cement board – must not be on ground floor next to sidewalk, and must integrate a mix of colors and/or textures



EIFS (synthetic stucco) - limited to no more than 20% of façade, must be trimmed and sheltered from weather





Building Design – Exterior Material Standards

Examples of buildings not meeting these standards

Too much EIFS and not sheltered



Metal not mixed with other materials





Building Materials: Implement standards for the use and design of key materials like concrete blocks, EIFS, metal, and cementitious panels.

What do you think of this concept?

5. Great idea/high priority
4. Good idea
3. Neutral
2. Not good
1. Very bad idea



OTHER CODE CONCEPTS

Not part of a survey question, but under consideration in coming draft



Preliminary Concepts – Residential Zones

1. Allow cottages in the R9 and R11 zones, and update the current cottage design standards.
2. Allow townhomes in the R7 zone.
3. In the RMD zone, increase maximum density from 14 to 20 units per acre to more economically allows multifamily development.
4. Require that new multi-unit residential development provide vehicular access from alleys (if an alley is available).
5. Replace maximum lot and site coverage standards with minimum landscaped area standards. Allow stormwater management techniques to count as landscaped area



Preliminary Concepts – Form-Based Code

1. Replace the maximum lot and site coverage limits and replace with landscaping standards for lot edges, building frontages, and parking lots. Allow stormwater management techniques to count as landscaping.
2. Implement standards for the design of ground-floor residential units to enhance privacy and security for residents.
3. Allow townhouses (four units or less) in the CA, CSD, and CN zones.
4. Require open space in new multifamily and mixed-use development (such as courtyards, lawns, balconies, and recreation rooms) and implement basic design standards.
5. Encourage public space such in new commercial and mixed-use development (such as plazas or outdoor dining areas).
6. Implement basic standards for ensuring good pedestrian access and circulation on large sites.
7. Implement basic standards for the location and design of service areas and utility equipment.
8. Replace lot and site coverage standards with minimum landscaped area standards (and allow stormwater management features to count as landscaped area)



5-MINUTE BREAK





DISCUSSION





NEXT STEPS





Updated Schedule

#	Task	Schedule	Status
1	Project Startup & Initial Presentation	Fall 2020	Complete
2	Staff/Stakeholder Interviews	Dec - April	Complete
3	Code Analysis	Fall 2020	Complete
4	Preliminary Concepts & Recommendations	April - May	Ongoing
5	Form-Based Code Public Workshop	June 9	Today
6	First Draft Code Updates	June	
7	Planning Commission Review & Code/Ordinance Refinements	July - September	
8	City Council Adoption Support	By October 22	
9	Scoping for Development Regulations Update	October - December	



Housekeeping

Project webpage:

<https://www.cityofpa.us/1051/Building-Residential-Capacity>



This meeting is being recorded to make it more accessible.



All meeting materials will be posted on the project webpage.



The two workshop surveys will be available online until June 30.



THANK YOU!

